

James McDonald, Mayor
Mary Konrad, Clerk
Christine McKinley, Treasurer



Trustees:
Allena Barbato
Scott Bartlett
Glenn McCollum
Jeff Nielsen
Tom O'Reilly
Doug Savell

The Village of Lake Villa

**Plan Commission – Meeting Agenda
Thursday, April 18, 2024
Village Hall, 65 Cedar Avenue**

7:00 pm

1. Call to Order & Roll Call
2. Pledge of Allegiance
3. **Approval**: Minutes of February 8, 2024 Plan Commission Meeting
4. **Approval**: Final PUD/Plat Approval for Dunkin' Donuts at 802 Tower Drive
5. **Public Hearing**: Conditional Use Permit for a Planned Development for the redevelopment of at 65 W. Grand Avenue (Serve & Swig at Nutties)
6. Public Comment
7. Adjournment

Individuals with disabilities who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the facilities, are required to contact Village Hall at (847) 356-6100 promptly to allow the Village to make reasonable accommodations for those persons.

The Village of Lake Villa
Plan Commission Meeting
DRAFT Proceedings of the February 8, 2024
Plan Commission Meeting – Village Hall
65 Cedar Avenue, Lake Villa, IL 60046

1. CALL TO ORDER AND ROLL CALL

A Meeting of the Plan Commission of the Village of Lake Villa was held on February 8, 2024, at the Village Hall, 65 Cedar Ave., and was called to order by Plan Commission Chairman Craig Kressner at 7:00 pm.

Present:	Commissioners: Craig Kressner, Jerry Coia, Dan Lincoln, Jake Cramond, Tracy Lucas, Steve Smart
Absent:	Commissioners: Mary Meyer
Also Present:	Village Administrator Michael Strong; Village Attorney Rebecca Bateman;

2. PLEDGE OF ALLEGIENCE

3. APPROVAL OF MINUTES

Commissioner Coia made a motion to approve the minutes of the November 14, 2023 Plan Commission meeting. The motion was seconded by Commissioner Smart and approved unanimously by voice vote.

4. Approval: Final Planned Development Approval for the Starling Loft Apartment (0 Deep Lake Road)

Village Administrator Michael Strong provided a presentation regarding the proposed development. He overviewed comments from the Village consultants, addressed landscaping and stormwater comments, and presented the action requested associated with the Final PUD and Plat application. The Plan Commission discussed several of the aspects associated with the application. The timeline for the project was overviewed by the petitioner.

There were no comments from the public.

Commissioner Coia made a motion to approve the Final PUD/Plat Approval for the Starling Loft Apartment (0 Deep Lake Road) as presented. The motion was seconded by Commissioner Meyer. The motion was approved unanimously 6-0.

5. Conceptual Review: Proposed Development at 801 Tower Drive

The architect for the proposed development at 801 Tower Drive, Erik Erikson, provided a presentation regarding the proposed development. He stated the intent to construct a gas station and convenience store with a car wash bay on the subject property. The new convenience store will be located in approximately the same location as the previously approved gas station and convenience store proposed and approved by the Village Board. The new building will be 6,076 square feet in area. An additional by-pass

drive-thru lane was proposed between the car wash and c-store facility. The required zoning relief was also outlined.

The Plan Commission brought up several questions and considerations for the petitioner. Questions related to sidewalks on Grass Lake, video gaming, the car wash, buffering between the gas station and bank, parking ingress, detention, school traffic, and elevations.

The petitioner stated that video gaming would be limited in terminals, the car wash would only be open 4am – 11pm, a 5-foot buffer would be added, and that sidewalks would be installed around building.

Public comments were made to the Plan Commission. Comments related to tight access points to the site. Additional public comment related to the Deep Lake project regarding the repaving of the road and the addition of bike lanes.

6. PUBLIC COMMENT

There was no public comment.

7. ADJOURNMENT

With there being no further business Chairman Kressner asked for a motion to adjourn. Commissioner Smart made a motion to adjourn, seconded by Commissioner Lucas. The motion was approved unanimously by voice vote at 8:12 p.m.

Respectfully submitted,
Jacob Litz, Assistant to the Village Administrator



DATE: April 12, 2024

TO: Chairman Craig Kressner and Members of the Plan Commission

FROM: Michael Strong, Village Administrator

RE: 800 Tower Drive – Dunkin

<u>Property Owner</u>	<u>Property Location</u>	<u>Zoning District</u>
C&T Fox Trot, LLC 36938 N Kimberwick Lane Wadsworth, IL 60083	Northwest Corner – Tower Drive & Grass Lake Road	Suburban Business (SB)
Petitioner and/or Contract Purchaser:	JSN Network c/o Suresh Patel 1180 Heather Drive Lake Zurich, IL 60047 MRV Architects 5105 Tollview Drive; Suite 197 Rolling Meadows, IL 60008	
Representatives:	Suresh Patel, Owner Mario Valentini, Principal	
Site Location:	800 Tower Drive	

Requested Action(s)

1. Final Plat/Plan Approval for Phase 3 of the Lake Tower Crossing Planned Development (Amendment to Existing Conditional Use Permit)

Project Background and Summary

The Subject Property, located in the northwest corner of the Tower Crossing Development at of the Deep Lake Road and Grass Lake Road, is comprised of a 0.81 acre undeveloped site with access to Tower Drive to the east. The property is currently zoned Suburban Business (SB).

The Applicant is proposing a single-story multi-tenant commercial space with an anchor combination sit-down and drive-through Dunkin restaurant (“Project”) on the Subject Property. The Preliminary PUD for the Property was approved on November 6, 2023 via Ordinance 2023-11-01.



Map source: Lake County GIS

The final plans, specifically the site plan, do not propose any major changes to the PC/ZBA's recommendations from preliminary plan/plat approval. The PCZBA's review of the final plat/plan approval is to verify conformance with the Preliminary PUD as provided in the Attachments.

Staff Analysis – Final Plat and PUD for 800 Tower Drive – *Please reference to the attached documents as reference.*

The request is for an amendment to the existing conditional use permit was preliminary approved by the Village Board on November 6, 2023 via Ordinance 2023-11-01. As stated in the Village's Zoning Code, within one year of approval of the Preliminary Plan/Plat, the applicant shall file for approval of a PUD Final Plan/Plat covering all or part of the approved PUD Preliminary Plan/Plat. The Final Plan shall be in substantial compliance with the Preliminary PUD (i.e. the number of units has not increased, the height of the buildings has not been increased, building materials are the same or of equal quality and the general quantities and quality of the landscaping material is the same, and any changes to the final engineering do not alter the general design characteristics of the Preliminary Plan/PUD). The review of the Final Plat/PUD for the PCZBA shall stay within the parameters of the above intentions of the Village's Zoning Code.

The Preliminary Plat/PUD approval for 801 Tower Drive indicated the following conditions, outside of general conformance to improvements proposed in the approved plans, for Final PUD approval:

1. Detention Basin to be constructed by the Petitioner to serve the Dunkin Parcel and the Lake Tower Crossing Planned Development. ***This condition is waived, as it is no longer necessary to provide stormwater management for the proposed development to the east (802 Tower Drive).***
2. Inclusion of all necessary stormwater management facilities and all sanitary sewer and water system improvements required for the Development. ✓
3. Necessary permits from the Village, CLCJAWA, Lake County Public Works, for water and sewer service to the Development shall be secured. ***Permit applications have been provided to the Developer and will be submitted to LCDOT, IEPA for review. Approvals will be conditioned up review and permit approvals from necessary agencies.***

On January 12, 2024 the Applicant filed plans for Final PUD Final Plan/Plat approval as the developer of the subject property. Revisions, pursuant to comments provided by Village Consultants, were received by the Village on February 29, 2024. The final submittal provided the items required and outlined in the Preliminary PUD for the Final PUD, along with substantially addressing revision comments by Village Consultants. Generally, there are no major changes that are proposed from the approved Preliminary PUD to the submitted Final PUD. Below represent current open comments relative to the Developer's submitted Final Plan/Plat:

Planning and Plat Comments:

- No open and/or major comments that need to be addressed.

Engineering Comments:

- The Village Engineer noted that adjustments are still needed on the final plans to address the water main material details and specifications, and utility connections. The

Village Engineer will work with the Developer to address the deficiencies and ensure that open issues are addressed on final plans prior to permit issuance.

Fire District Comments:

- No open and/or major comments that need to be addressed.

Landscaping/Signage Comments:

- No open and/or major comments that need to be addressed.

Stormwater Comments:

- No open and/or major comments that need to be addressed.

Action Requested

As the Final PUD and Plat Application, and associated documents are substantially conforming to the Preliminary PUD, staff is recommending approval of the Final PUD for 801 Tower Drive with the following conditions:


1. The Developer provide and/or apply for all necessary permits/approvals from the Village, CLCJAWA, IEPA, Fox Lake, and/or Lake County Public Works, for utilities, and any sidewalks that may be located in Lake County right-of-way.
2. Address any additional outstanding issues as noted in final review comment letters issued by the Village Planner, Village Engineer, and Village Stormwater Engineer. The remaining comments must be addressed prior to the issuance of Site Development or Building permits for the project.

A draft motion has been included in your packet for consideration during the April 18, 2024 meeting.

Attachments

- Exhibit 1 – Complete Plan Submittal Set (Recent Rev. 2/29/2024)
- Exhibit 2 – Draft Motion Including Findings of Fact

OPERATES
24 HOURS
365 DAYS



CALL JULIE 1-800-892-0123

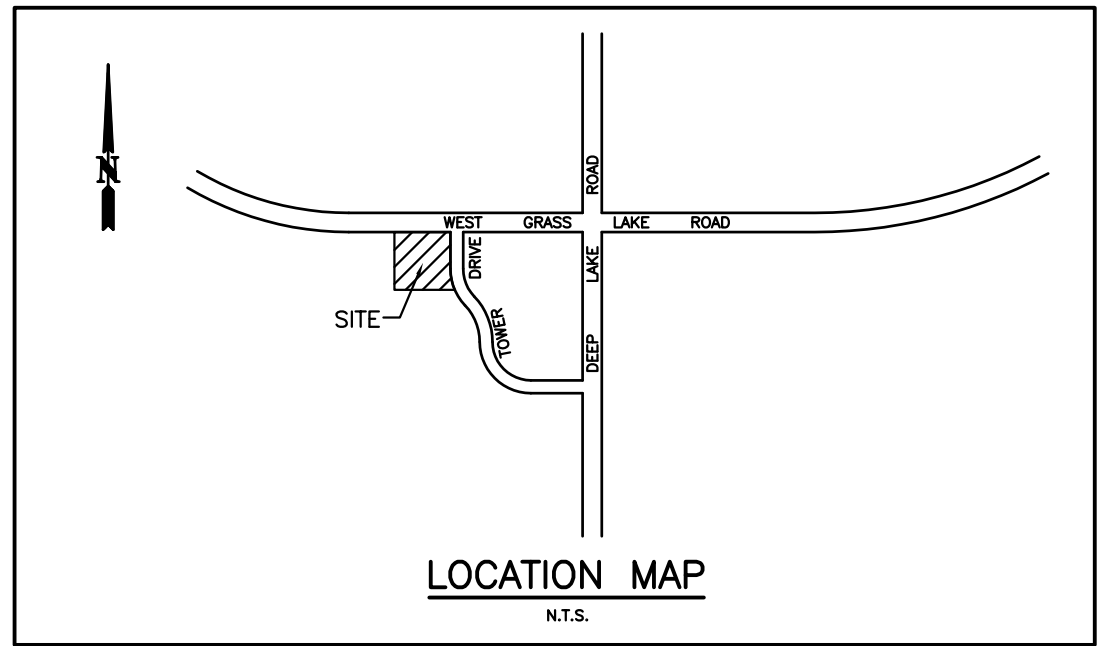
WITH THE FOLLOWING:
COUNTY: LAKE
CITY-TOWNSHIP: LAKE VILLA
SEC. & 1/4 SEC. NO.#: 28-46-10

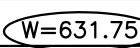
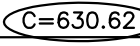
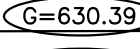
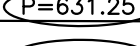
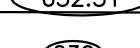
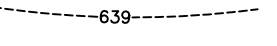



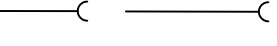
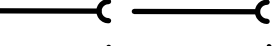
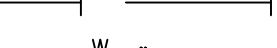
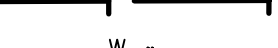
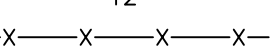
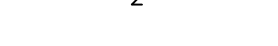
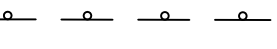

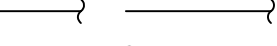
















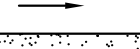

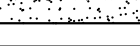



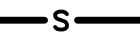




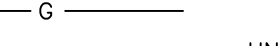

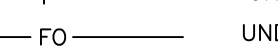













48 HOURS BEFORE YOU DIG
EXCLUDING SAT., SUN. & HOLIDAYS

BENCHMARK:
BENCHMARK NO. 1 = 804.85 (NAVY 88 DATUM) =
ELEVATION OF CROSS CUT ON TOP OF CURB WEST
OF FIRE HYDRANT LOCATED ON THE EAST SIDE OF
TOWER DRIVE APPROXIMATELY 130 FEET SOUTH OF
GRASS LAKE ROAD.

GENERAL DEVELOPMENT NOTES

- All work shall be performed in a manner so as not to unreasonably impair or interfere with the use, occupancy or enjoyment of, or with any business conducted on, any adjacent property.
- At all times during the performance of any Work all areas other than the construction site proper and the staging area shall be kept free from any loose dirt, debris, equipment or construction materials relating to the work.
- Upon completion of the Work, Constructing Party shall promptly restore the area to as good or better condition than existed before the use of the area commenced. Restoration shall include, without limitation, clearing the areas of all loose dirt, debris, equipment and construction materials, the repair or replacement of paving, striping and landscaping, and the repair or replacement of any and all damaged areas or improvements.



EXISTING	LEGEND	PROPOSED
W=E630.12	WALK GRADE	 W=631.75
C=E634.21	CURB GRADE	 C=630.62
G=E629.94	GUTTER GRADE	 G=630.39
P=E632.82	PAVEMENT GRADE	 P=631.25
E633.75	GRADE	 632.51
	CONTOUR	 639
=====	CONC. CURB TO BE REMOVED	
	RETAINING WALL	
	SANITARY SEWER	
	STORM SEWER	
	WATERMAIN	
	CHAIN LINK FENCE	
	GUARD RAIL	
	DITCH FLOWLINE	
	MANHOLE	
	MANHOLE W/OPEN GRATE	
	CATCH BASIN	
	INLET BASIN	
	VALVE VAULT	
	VALVE BOX	
	LIGHT POLE	
	WOOD POLE	
	FIRE HYDRANT	
	DIRECTION OF DRAINAGE	
	CONCRETE WALK/PAVEMENT	
	ASPHALT PAVEMENT	
	SILT FENCE	
	TREE	
	PROPERTY LINE	
	UNDERGROUND ELECTRIC	
	GAS MAIN	
	UNDERGROUND TELEPHONE	
	UNDERGROUND FIBER OPTIC	
	OVERLAND FLOW ROUTE	

SPECIAL NOTE:
THE CONTRACTOR SHALL AT ALL TIMES CONDUCT HIS WORK IN A MANNER AS TO MINIMIZE HAZARDS TO VEHICULAR AND PEDESTRIAN TRAFFIC, TRAFFIC CONTROLS AND WORK SITE PROTECTION SHALL BE IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF CHAPTER 6 (TRAFFIC CONTROLS FOR HIGHWAY CONSTRUCTION AND MAINTENANCE OPERATIONS) OF THE ILLINOIS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS. ALL SIGNS, BARRICADES, FLAGGERS, ETC. REQUIRED FOR TRAFFIC CONTROL SHALL BE FURNISHED BY THE CONTRACTOR. ALL WORK IN THE WEST GRASS LAKE ROAD AND TOWER DRIVE RIGHT OF WAYS SHALL COMPLY WITH ALL IDOT STANDARDS AND REQUIREMENTS.

INDEX OF DRAWINGS	
C-1	TITLE SHEET
C-2	SITE PLAN
C-3	GRADING AND DRAINAGE PLAN
C-4	UTILITY PLAN
C-5	SOIL EROSION CONTROL PLAN
C-6	DETAILS
C-7	EXISTING CONDITIONS/DEMOLITION PLAN
C-8	IDOT HIGHWAY STANDARDS
C-9	IDOT HIGHWAY STANDARDS
C-10	IDOT HIGHWAY STANDARDS

GENERAL NOTES AND SPECIFICATIONS

- All roadway and pavement construction shall comply with the requirements of the Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction", latest edition, except as may be modified by the project plans and specifications.
- All underground construction shall comply with the requirements of the "Standard Specifications for Water and Sewer Main Construction in Illinois", Illinois Municipal League, latest edition, except as may be modified by project plans and specifications.
- Water mains shall be protected with the requirements of the Illinois EPA. Where a sewer crosses a water main, a minimum vertical separation of 18" shall be provided between the top of the sewer pipe and the bottom of the water main pipe. Where this 18" vertical separation is not provided or when the water main crosses below the sewer, the sewer shall be constructed to water main standards for a minimum of 10 feet on each side of the water main unless otherwise noted on the drawings. If the water main crosses beneath the sewer, 18" vertical separation shall be provided in all cases. Minimum water main cover is 5.5 feet. Minimum horizontal separation of 10' between sewer and water main is required.
- All sewer and water main trenches under or within 3 feet of existing or proposed curbs or roadway pavement shall be backfilled with compacted porous granular backfill (IDOT gradation CA-6).
- Commonwealth Edison, A/T Telephone, NICOR Gas and other utility company facilities are not necessarily shown on the drawings and must be located in the field prior to construction. Call J.U.L.I.E. (1-800-892-0123) at least 48 hours prior to the start of construction.
- Any pavement or other improvements disturbed by contractor's operations shall be replaced in kind at no additional cost.
- Valve vault, catch basin, and manhole covers and rings shall be set in workmanlike manner in mastic bed.
- All elevations shown are NAVD88 datum.
- The Village of Lake Villa Engineering, Building and Public Works Departments shall be notified at least two working days prior to the start of construction.
- All structures shall be clean at time of final acceptance by the Village at no additional cost.
- All work to meet all State and local codes and requirements.
- Water and sewer locations shown on the drawing from the best available information and must be located in the field by the contractor prior to construction. Any discrepancy that the contractor may find with the plan shall be immediately reported to the engineer and the Village for resolution prior to proceeding with construction.
- Valve vault lids shall be stamped "Water", storm manhole covers shall be stamped "Storm", and sanitary manhole covers shall be stamped "Sanitary".
- PVC sewer pipe to be PVC SDR 26 pipe meeting the requirements of ASTM D 3034 with flexible elastomeric joints per ASTM D3212, unless otherwise noted on the drawings.
- D.I. sewer pipe to be cement-lined ductile iron, Class 52 conforming to ANSI specification A21.51 with push-on rubber gasket joints, ANSI A21.11.
- Stone bedding 1/4" to 1" in size, with a minimum of 12" above pipe and 6" below pipe shall be provided for all sewer construction (IDOT gradation CA-6).
- All floor drains shall be connected to the sanitary sewer system. All down spouts and footing drains shall discharge into the storm sewer system.
- "Band Seal" or similar flexible type couplings shall be used in the connection of sewer pipe of dissimilar materials.
- Concrete thrust blocks to prevent movement under water. All Lake Villa manholes and service lines larger than 2 1/2" shall be cement-lined ductile iron, Class 52, conforming to ANSI specification A21.51 with push-on rubber gasket joints. All fittings to be cement lined. Sterilization and pressure testing in accordance with the local governing authority's requirements is included.
- The contractor(s) shall indemnify the owner, Northwestern Engineering, P.C., and the municipality, their agents, etc. from all liability involved with the construction, installation and testing of the work on this project.
- All concrete used shall be I.D.O.T. Class SI, except for concrete pavement which shall be I.D.O.T. class PV.
- When connecting to an existing sewer main by means other than an existing wye, tee, or an existing manhole, the following method shall be used:
 - Circular saw-cut of sewer main by proper tools ("Sewer-Tap" machine or similar) and proper installation of hub-we saddle or hub-tee saddle.
 - Remove an entire section of pipe (breaking only the top of one bell) and replace with a wye or tee branch section.
 - With pipe cutter, neatly and accurately cut out desired length of pipe for insertion of proper fitting, using "Band-Seal" or similar couplings to hold it firmly in place.
- All existing field drainage tie encountered or damaged during construction are to be restored to their original condition, properly rerouted, and/or repaired to the storm sewer system. The contractor shall keep a record of all locations of field drainage tie encountered, and shall notify the Village Engineer whenever encountering a drainage tie.
- The contractor is responsible for maintaining a clean construction area and shall remove debris resulting from his operations. Open trenches or other construction hazards shall be protected with barricades at the end of each day's operations.
- The contractor shall be responsible for compliance with all of the requirements of the Occupational Safety and Health Act including those requirements for open cut trenches and sheeting and bracing as required. At no time will the engineer or any of his employees be held liable, either directly or as third party participants in any litigation concerned with the construction project.
- All existing buildings, foundations, utilities, fences, and other improvements on adjacent properties shall be protected at all times during construction. The contractor is responsible to provide and install any materials, equipment, and/or manpower necessary to accomplish this.
- In order to prevent damage due to settlement, structural support shall be provided for the upper pipe at all water main/sewer crossings in accordance with standard drawings 19, 20, 21, 22, and/or 23 (whichever is applicable to the particular situation) as shown in the "Standard Specifications for Water and Sewer Main Construction in Illinois", 2014 edition.
- The sanitary sewer shall be tested in accordance with the specifications in the "Standard Specifications for Water and Sewer Main Construction in Illinois", and all Village tests and requirements. Sanitary sewer shall be tested for leakage and deflection in accordance with Section 31-1.12 in the "Standard Specifications for Water and Sewer Main Construction in Illinois".
- All construction and traffic control within the highway right-of-way shall comply with all Illinois Department of Transportation, Lake County Division of Transportation, and Village requirements. Pavement, curb, concrete walk or any other improvements disturbed by contractor's operations shall be replaced in kind.
- All excess excavated material shall become the property of the contractor and shall be removed from the site and legally disposed of by him. The contractor shall comply with all the current requirements of the State of Illinois EPA Clean Construction and Demolition Debris (CDD) requirements.
- The contractor and its employees are responsible to comply with all the requirements of the IDOT "Confined Space Entry Policy" as published by IDOT, latest edition, insofar as it relates to entry into manholes, sewers, pipes, lift stations, vaults, wet wells, tanks, and other confined spaces that may be involved with this project.
- Any damage to public cut or street curbs and/or pavement caused by the contractor's activity shall be repaired by the contractor.
- Subgrade preparation for all pavements and other improvements shown on the drawings shall include topsoil stripping and removal of any underlying unstable/deleterious material. Fill placement under all paved areas shall be compacted to 95% Modified Proctor density and shall comply with all the recommendations of the soils engineer.
- The design engineer shall not be responsible for the means, methods, procedures, techniques, or sequences of construction not specified herein, nor for the safety on the job site, nor shall the design engineer be responsible for the contractor's failure to carry out the work in accordance with the contract documents.
- All work shall conform to the IEPA "Standards Specifications for Soil Erosion and Sediment Control" current edition. The contractor shall take whatever steps are necessary to control erosion on the site. Erosion control features shall be constructed concurrently with other work on the site. The contractor shall take sufficient precaution to prevent pollution of streams, lakes and reservoirs with fuels, oils, bitumens, calcium chloride or other harmful materials. He shall conduct and schedule his operations so as to avoid or minimize siltation of streams, lakes and reservoirs. Hauling will not be allowed when the work site is too wet to maintain acceptable conditions on adjacent streets. Adjacent streets and driveways shall be manually or mechanically swept periodically as may be required to maintain clean conditions.
- All streetlighting material and construction shall comply with the State of Illinois "Standard Specifications for Road and Bridge Construction" latest edition, "American Standard Practice for Roadway Lighting" current edition, the National Electric Code, current edition, and the current Village of Lake Villa standards.
- Sanitary manholes, (and storm manholes in combined sewer areas), shall have a minimum inside diameter of 48 inches, and shall be cast in place or precast reinforced concrete.
- Drainage from upstream properties shall not be blocked at any time in any manner by any of the proposed construction work shown on these drawings.
- The design engineer shall not be responsible for the means, methods, procedures, techniques, or sequences of construction not specified herein, nor for the safety on the job site, nor shall the design engineer be responsible for the contractor's failure to carry out the work in accordance with the contract documents.
- All work shall conform to the IEPA "Standards Specifications for Soil Erosion and Sediment Control" current edition.
- The contractor is advised that the site contains trees and landscaping. The contractor shall make his own investigation and shall include the cost of tree and landscape removal as required for this construction project in his total price bid. Any trees whose trunk is located on both sides of any development parcel property line shall remain and be protected, unless written permission is obtained from the adjoining property owner to remove said trees.
- All sanitary manholes shall be tested for leakage in accordance with ASTM C-969 or vacuum tested in accordance with ASTM C-1244.

SPECIAL CONDITIONS FOR CONSTRUCTION WITHIN A COUNTY HIGHWAY RIGHT-OF-WAY

WORK NOTIFICATION

Prior to starting construction, the Permit Section, (847) 377-7400, shall be called and given the construction start date.

SPECIFICATIONS

The construction and restoration methods and procedures, materials used and construction signing and traffic control shall, when applicable, conform or meet the standards and requirements set forth in the current "Manual on Uniform Traffic Control Devices for Street and Highways", "Standard Specifications for Road and Bridge Construction", "Standard Specification for Traffic Control Items" and the "Highway Standards" manual as published or adopted by the Illinois Department of Transportation.

FIELD CHANGES FOR WATERMAIN OR SEWER LOCATION

No changes to the depth or location of the watermain or sewer as shown on these plans due to unforeseen field conditions or conflicts can be made unless prior approval has been obtained from the Permit Section of the Lake County Division of Transportation.

ADDITIONS, EXTENSIONS OR DELETIONS FOR THE WATERMAIN OR SEWER

No additions, extensions or deletions can be made to the watermain or sewer as shown on these plans unless prior approval has been obtained from the Permit Section of the Lake County Division of Transportation.

APPROVAL OF MATERIALS

The Lake County Division of Transportation Permit Section, (847) 377-7400, shall be called for approval of any materials (i.e. trench backfill, sand, gravel or other granulated materials) that will be placed within the County Highway right-of-way that are not on the approved engineering plans.

HAZARDS TO THE PUBLIC

Measures shall be taken to prevent or protect the public from hazards caused by the construction operations.

PARKING OF VEHICLES, EQUIPMENT AND STORAGE OF MATERIALS

Construction worker's vehicles and construction equipment shall be parked in areas outside of the County Highway right-of-way or in areas where there will be no interference with the normal use of the highway or vehicle sight distance. Construction materials shall be located at least 12 feet from a through traffic lane or outside of the County Highway right-of-way.

MAINTAINING EXISTING TRAFFIC CONTROL DEVICES

Existing traffic control devices that are removed shall be re-erected as soon as possible. Damaged or lost traffic control signs shall be reported to the Sign Shop, (847) 377-7501, of the Lake County Division of Transportation for replacement.

Regulatory and warning traffic signs shall be kept in view of the highway traffic.

EXISTING DRAINAGE AND ACCESS

Disturbed highway drainage facilities shall be re-established at the close of each work day. Occupants of adjacent properties having access to the County Highway shall be notified prior to being blocked and suitable arrangements made with the occupants. Adjacent property access shall be re-established as soon as possible.

HIGHWAY PAVEMENTS

Care shall be taken not to break, crack or damage the highway pavement with equipment operating on it. Also, any dirt or debris tracked onto the highway pavement shall be removed. Equipment with goosetraps, cleats or studs are not permitted to operate on the highway pavement.

If, due to construction operations, the highway pavement becomes damaged or undermined, all construction work in that area shall be stopped and the highway pavement repaired as directed by the Lake County Division of Transportation. Alternate construction measures shall then be used to prevent further highway pavement damage.

EXCAVATIONS, TRENCHES AND BORE PITS

Excavated material shall, when practical, be piled on the near traffic side of the excavation, trench or bore pit. Open excavations, trenches or bore pits remaining after working hours shall not exceed 30 feet in length and shall be properly protected (fencing, covered, etc.) and marked (Type I or II barricades). If barricades are used in series, only steady burning lights shall be used. Bore pits shall be located no closer than 10 feet to the highway pavement, back of curb or gutter, or shoulder break line, whichever is further. If casing pipes are used, the voids in the casing pipe shall be filled and/or the ends sealed so there will be no situation into the casing pipe.

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MANHOLES, VALVES, VALVE VAULTS AND APPURTENANCES

The top of the frame and lid or cover of a manhole, valve, or valve vault shall be flush and contoured to the surrounding ground. If this is not possible due to an excessive slope, the surrounding ground shall be graded or the frame and lid or cover partially buried to provide for a gradual transition slope so the area can be safely mowed and no hazard to the public will result. The top of the frame and lid or cover that is located within the grade shoulder shall have a bituminous apron installed around the frame or cover as directed by the Lake County Division of Transportation. Any frame and lid or cover located in a paved area shall be contoured and 1/2 inch below the surface of the surrounding pavement. The top of the frame and lid or cover shall not be located within the area of 27.5 feet to 30.5 feet from the highway pavement centerline.

Surface appurtenances that extend above the surrounding ground surface shall be located within 2' of the County Highway right-of-way.

LIFE LINES AND STORM SEWERS

Existing tie line and storm sewers that are encountered during construction operations shall be replaced if broken with like size and kind of material. Tie line and storm sewer crossings of the excavation shall be bridged with rigid material such as wood or steel. The location and depth of any encountered tie lines and storm sewers shall be recorded, and a copy given to the Lake County Division of Transportation.

WINTER CONSTRUCTION WORK

Snow and ice removal operations of the Lake County Division of Transportation shall have precedence over the construction operations. A 12-foot wide (minimum) clear area from the highway pavement edge shall be maintained for the roadside storage of snow and ice. No construction equipment or materials shall be stored in this 12-foot wide (minimum) clear area nor shall any piles of dirt or excavated materials be left in this area.

RESTORATION AND CLEAN-UP

The area of the County Highway right-of-way disturbed by construction operations shall be kept to a minimum and shall be restored as promptly as weather and soil conditions permit. If restoration is not accomplished voluntarily, the Lake County Division of Transportation may seek a final date for the completion of the restoration work.

Turf areas of the right-of-way disturbed by construction operations shall be compacted and graded to an equal or better condition than existed before construction. Also, an average 3-inch depth of topsoil, fertilizer, seed and mulch shall be used. Hydro seeding is also acceptable. Seed shall be used in high erosion areas. This restoration work will not be considered completed until the turf cover is established.

Gravel and paved shoulders that are damaged shall be replaced as directed by the Lake County Division of Transportation. Driveways, side roads and other accesses, which are damaged, shall be restored with similar materials and thickness. The edges of excavated paved surfaces shall be sawcut prior to repair. Culverts, storm sewer systems and other drainage facilities including ditch lines shall be cleaned of siltation and debris due to the construction operations.

Other areas of the right-of-way that have been disturbed such as curb and gutters shall be restored with similar materials.

Any damaged property of the County of Lake, its Division of Transportation, or of others (including utility companies) shall be repaired or replaced or the owner of the damaged property reimbursed for the costs of repairing the damaged property by the owner.

RESTORATION GUARANTEE

Any restoration work that fails within one year of completion shall be redone. Also, any settlement that occurs within one year of completion of the surface restoration work shall be filled and the surface area restored.

KEEPING ROADS OPEN TO TRAFFIC

All roads shall remain open to traffic. The Contractor may close one lane because of construction only between the hours of 9:00 a.m. and 3:00 p.m. The person in charge shall notify the Lake County Division of Transportation's Transportation Management Center, (847) 377-7000, of any lane closure and when the lane re-opens. This information will be broadcast on the Lake County Passage website and Highway Advisory Radio. The Contractor shall maintain traffic during these restricted hours as shown on the Traffic Control Standards. Two lanes of traffic will be maintained between 3:00 p.m. and 9:00 a.m. and when no construction activities are being carried out. Traffic routed around construction areas shall be over paved surfaces and not over gravel shoulders.

NOTE:
SEE ALTA/ACSM LAND TITLE SURVEY BY J.L.H. LAND SURVEYING INC. DATED DECEMBER 4, 2023 FOR DESCRIPTION OF EXISTING FEATURES WITHIN AND AROUND THE SITE, AND FOR EXACT LOT DIMENSIONS, BEARINGS, AND EASEMENT INFORMATION.

LAKE COUNTY DIVISION OF TRANSPORTATION GENERAL NOTES

- The review and approval of these final engineering plans and specifications by the Lake County Division of Transportation does not constitute a release from or grant of variation from the standards and specifications required in the Lake County Highway Access and Use Ordinance, latest edition. The permittee, the permittee's designated representatives, and/or all successors and assigns shall be solely responsible for all work and improvements within the limits of the County Highway right-of-way. Unless otherwise specified, approved in writing by the Lake County County Engineer, and on file with the Lake County Division of Transportation, all work and materials necessary to perform work within the limits of the County Highway right-of-way shall be in conformance with the rules, regulations, and specifications of the Lake County Highway Access and Use Ordinance, latest edition.
- The construction, including materials used, of this improvement shall be in accordance with the applicable portions of the most recent editions of the "Standard Specifications for Road and Bridge Construction", "Supplemental Specifications and Recurring Special Provisions", and the "Illinois Manual on Uniform Traffic Control Devices for Streets and Highways", including all amendments and successor documents to the aforementioned documents as published or adopted by the Illinois Department of Transportation and/or IDOT unless otherwise stated in these engineering plans.
- The construction of the improvements shall also be in accordance with the "Lake County Highway Access and Use Ordinance", latest edition.
- The Lake County Division of Transportation shall not be held liable for any errors or omissions in these engineering plans or for any additional work, which may be needed due to errors or omissions in these engineering plans.
- The permittee shall be responsible for any additional work, and all cost thereof, required because of errors or omissions in these engineering plans and for the correction of any construction, maintenance, or safety problems, which become apparent during construction or by inspections made by the Resident Engineer or the Lake County Division of Transportation.
- Pavement Smoothness for Bituminous Pavements:
 - The following smoothness requirements shall apply to the surface course:
 - For mainline traffic lanes the pavement surface shall not vary more than 1/4 inch in a 10-foot distance as measured along the wheel path.
 - For turning lanes, including by-pass lanes, the pavement surface shall not vary more than 1/4 inch in a 10-foot distance as measured along the wheel path.
 - In order to satisfy the above smoothness requirements for a pavement overlay, the existing pavement may need leveling binder or cold milling in order to provide a proper base for the bituminous binder course. The Resident Engineer shall determine if leveling binder or cold milling will be necessary.
 - The Lake County Division of Transportation shall require, at its discretion, the testing of pavement smoothness. For any such testing, the bituminous contractor shall provide construction signing and two flaggers. A representative of the bituminous contractor and the Resident Engineer (or representative) shall be present during testing. Any pavement areas that do pass the above smoothness requirements shall be removed and the grinding method to a 2-inch minimum depth and resurfaced with Hot-Mix Asphalt Surface Course of the mix design specified.
- The Resident Engineer shall be responsible for establishing the proper lines and grades for all construction work including earthwork, paving, curbing and drainage. The Resident Engineer shall also be responsible for all other engineering work including inspections and any testing required by the Lake County Division of Transportation. An inspector, as provided or approved by the Resident Engineer, shall be present during critical phases of the construction work.
- The Resident Engineer shall note any changes from these engineering plans and shall notify the Permit Department of the Lake County Division of Transportation about any changes that deviate from the intent of the engineering plans such as changes in drainage, geometric plan, or grading work.
- The Lake County Division of Transportation "Special Conditions for Construction within a County Highway Right-of-Way" shall be included in the engineering plans.

SUMMARY OF QUANTITIES FOR WORK IN GRASS LAKE ROAD RIGHT OF WAY

ITEM	QTY	DESCRIPTION	QUANTITY
1	20200100	EARTH EXCAVATION	40 CY
2	21101615	TOPSOIL FURNISH AND PLACE, 4"	160 SY
3	25000100	SEEDING, CLASS 1A	0.03 AC
4	28001000	TEMPORARY EROSION CONTROL BLANKET	160 SY
5	42400200	PORTLAND CEMENT CONCRETE SIDEWALK, 5 INCH	850 SF
6	42400800	DETECTABLE WARNING	14 SF



Daniel M. Hall
12-22-23
LIC. EXP. 11-30-25

ARCHITECT

MRV ARCHITECTS, INC.
MR. MARIO VALENTE
5105 TOLLVIEW DRIVE, SUITE 201
ROLLING MEADOWS, IL 60008
224-318-2140

DEVELOPER

KILDEER REAL ESTATE LLC
MR. SURESH PATEL
1180 HEATHER DRIVE
LAKE ZURICH, IL 60047
847-372-0904

REVISIONS

NO.	DATE	DESCRIPTION

PREPARED BY

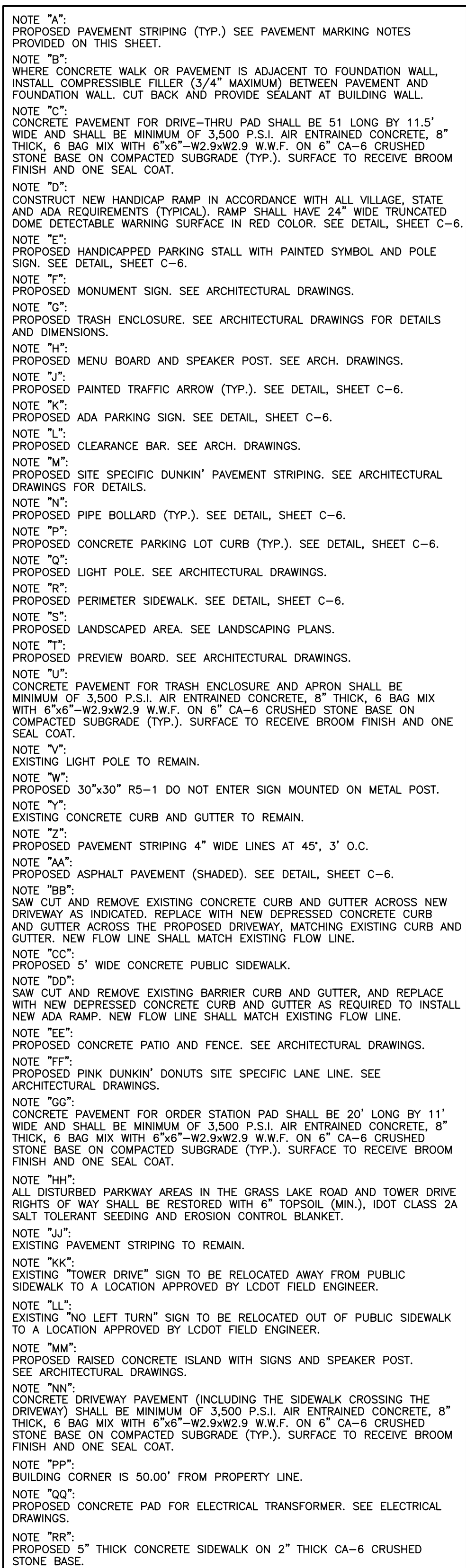
NORTHWESTERN ENGINEERING CONSULTANTS, P.C.

ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002695
LICENSE EXPIRES APRIL 30, 2025
675 N. NORTH COURT
PALATINE, ILLINOIS 60067
(847) 520-8410
DECEMBER 22, 2023

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SPECIAL NOTE:

Existing grades and improvements are shown from the best information available and must be verified in the field by the contractor prior to the start of construction. Any discrepancy with the plan shall be immediately reported to the engineer.



CIVIL ENGINEERS SITE PLANNERS LAND SURVEYORS
NORTHWESTERN ENGINEERING
CONSULTANTS, P.C.
675 N. NORTH COURT PALATINE, ILLINOIS 60067 (847) 520-8410
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 194-0026995 EXP. 4-30-25

SITE PLAN
DDUNKIN' RESTAURANT
802 TOWER DRIVE
LAKE VILLA, ILLINOIS

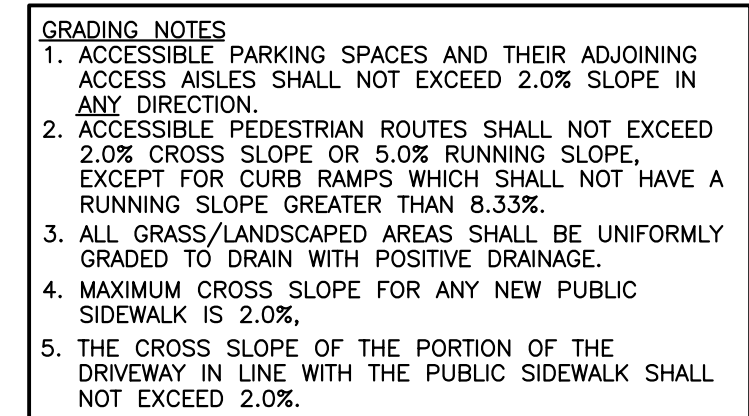
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	NO.	DATE
	DESCRIPTION	

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CHECKED BY: DMH
DATE: 12-22-23
SCALE: 1"=20'

DRAWING NO.
C-2

JOB NO.
23-34

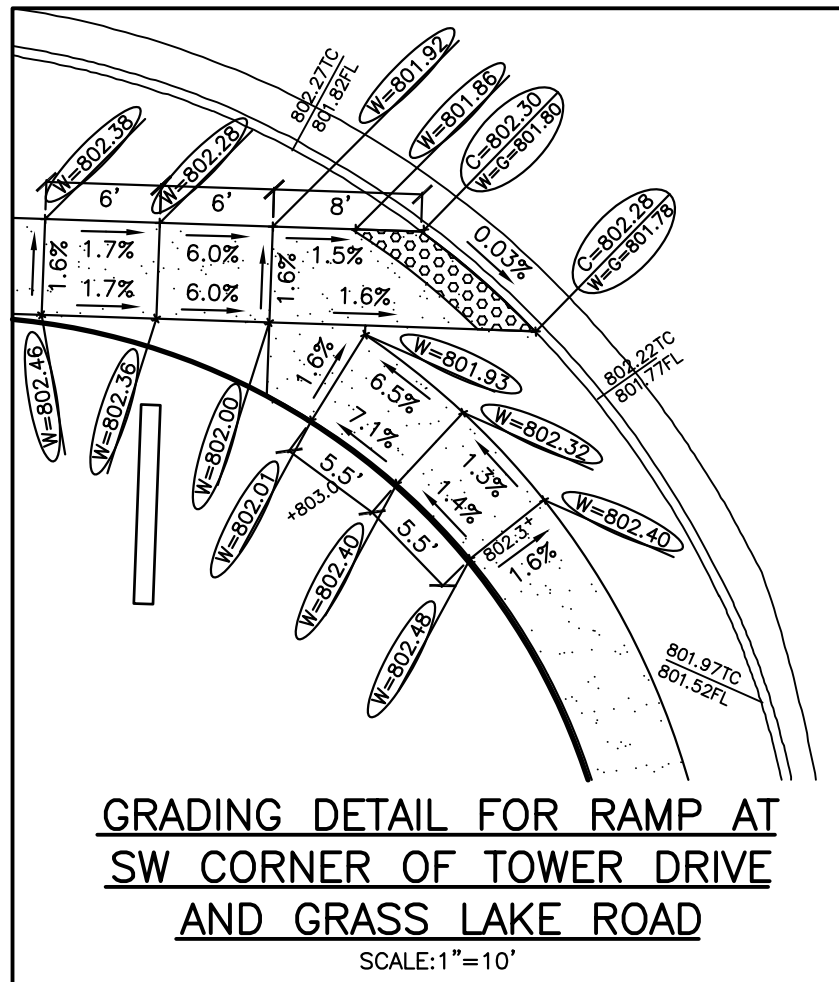
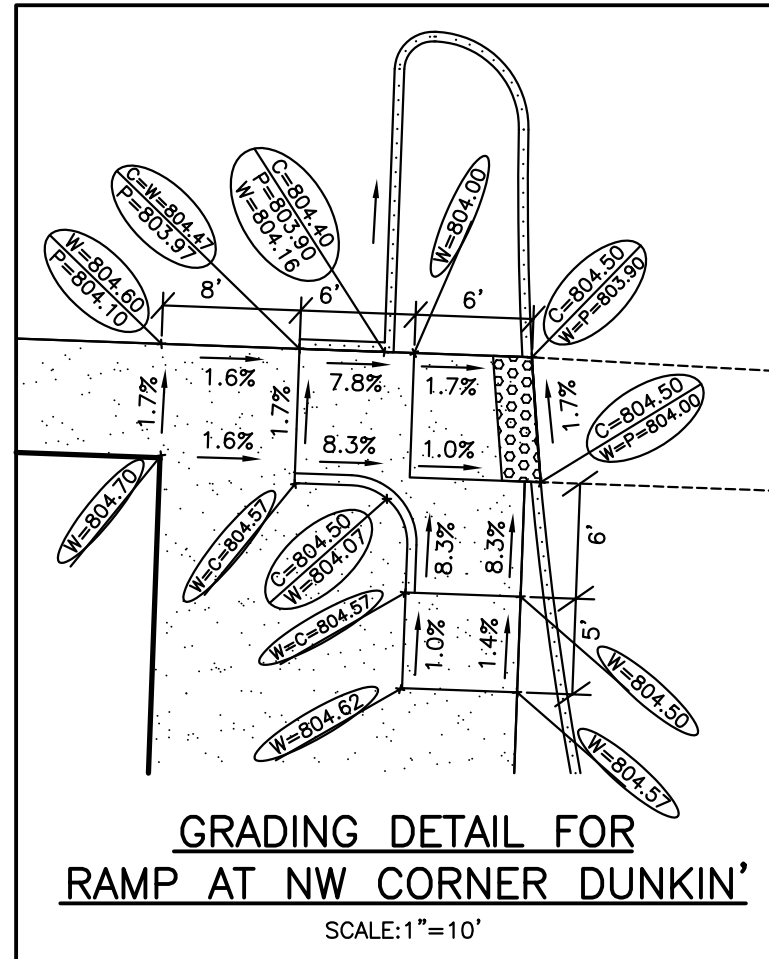
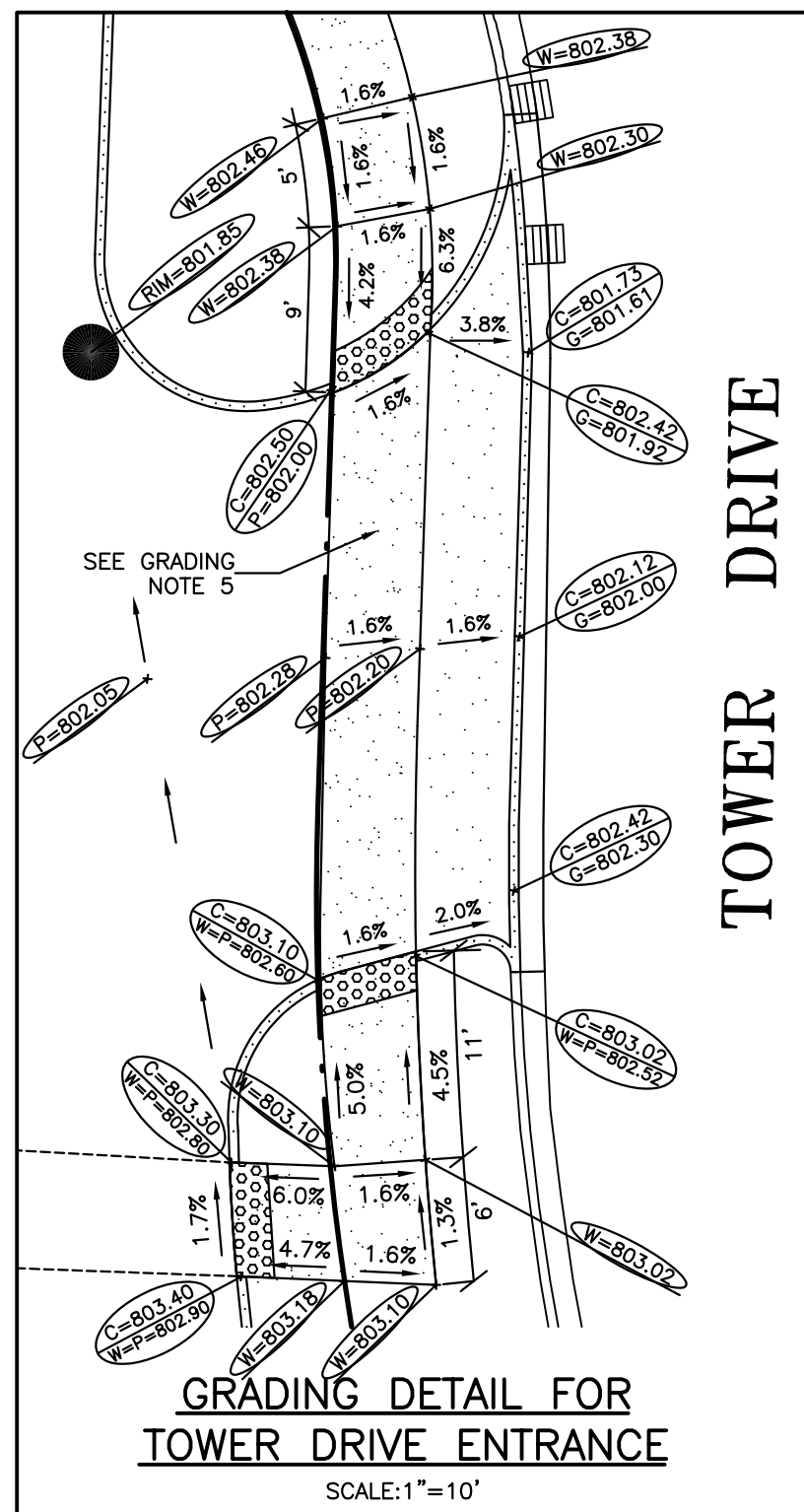
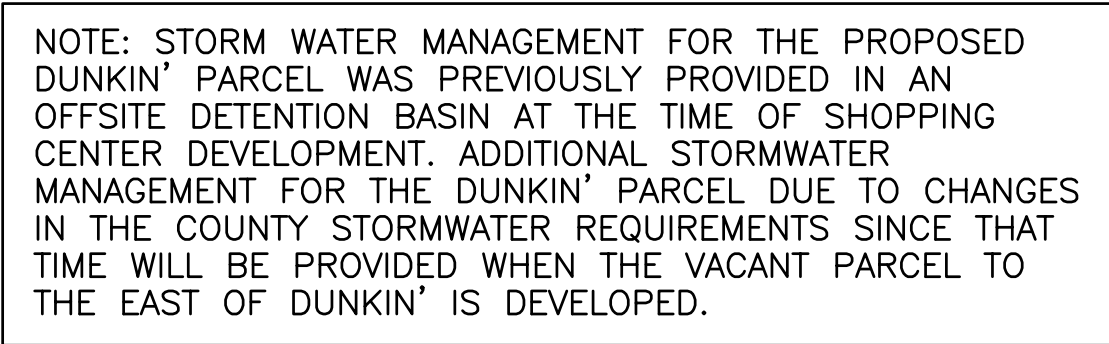
DESCRIPTION



SPECIAL NOTE:

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BENCHMARK:
BENCHMARK NO. 1=804.85 (NAVD 88 DATUM)=ELEVATION
OF CROSS CUT IN TOP OF CURB WEST OF FIRE HYDRANT
LOCATED ON THE EAST SIDE OF TOWER DRIVE
APPROXIMATELY 130 FEET SOUTH OF GRASS LAKE ROAD.

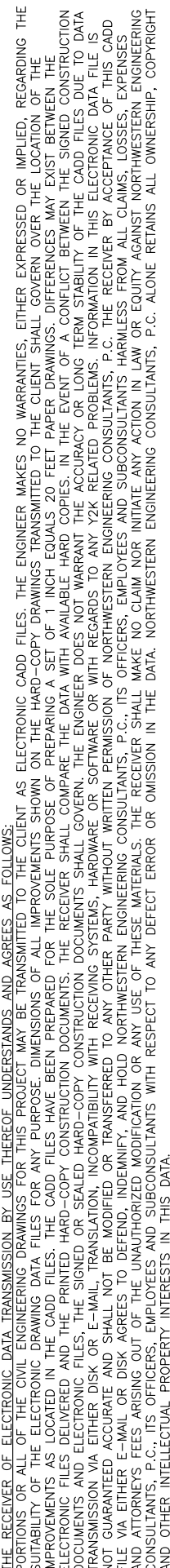


TOWER DRIVE

GRADING AND DRAINAGE PLAN
DUNKIN' RESTAURANT
802 TOWER DRIVE
LAKE VILLA, ILLINOIS

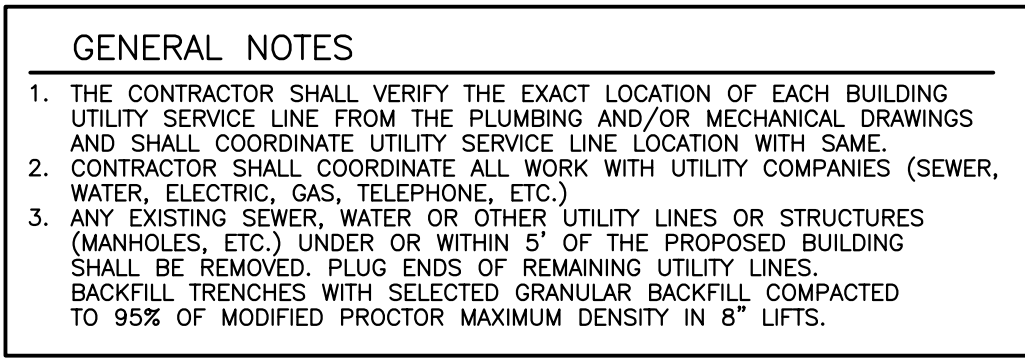
CIVIL ENGINEERS SITE PLANNERS LAND SURVEYORS
NORTHWESTERN ENGINEERING
CONSULTANTS, P.C.
675 N. NORTH COURT PALATKA, ILLINOIS 60067 (847) 520-8410
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002689 EXP. 4-30-25

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SPECIAL NOTE:
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APPROXIMATELY 130 FEET SOUTH OF GRASS LAKE ROAD.



NOTE "Z":

Prior to the start of construction, the contractor shall expose any utilities or other obstructions to be crossed by the proposed sewer, and shall notify the engineer immediately if there are any conflicts with the proposed sewer grade.

SPECIAL NOTE

The locations of existing underground utilities, such as water mains, sewers, gas lines, electric lines, telephone lines, etc., as shown on the plans have been determined from the best available information and is given for the convenience of the contractor. However, the engineer and owner do not assume responsibility for the accuracy of the locations shown. It shall be the contractor's responsibility to contact all utility companies and their facilities shall be located prior to any work.

UTILITY NOTES

- 1 MAKE WATERTIGHT SERVICE RISER CONNECTION TO EXISTING 8" SANITARY SEWER IN ACCORDANCE WITH VILLAGE REQUIREMENTS.
EX. INV.=794.64 (VERIFY) PROP. INV. AT TOP OF RISER=795.97.
- 2 30 LF 6" PVC SDR 26 SANITARY SEWER S=2.00%.
- 3 7 LF 6" PVC SDR 26 SANITARY SEWER S=8.00%.
- 4 MAKE WATERTIGHT SERVICE RISER CONNECTION TO EXISTING 8" SANITARY SEWER IN ACCORDANCE WITH VILLAGE REQUIREMENTS.
EX. INV.=795.12 (VERIFY) PROP. INV. AT TOP OF RISER=795.88.
- 5 18 LF 6" PVC SDR 26 SANITARY SEWER S=3.83%.
- 6 19 LF 6" PVC SDR 26 SANITARY SEWER S=2.00%.
- 7 5 LF 6" PVC SDR 26 SANITARY SEWER S=5.00%.
- 8 PROPOSED 1000 GALLON GREASE TRAP. SEE DETAIL, SHEET C-6.
RIM(E)=804.20, RIM(W)=804.25, INV(W)=796.82, INV(N)=797.07
- 9 17 LF 6" PVC SDR 26 SANITARY SEWER S=1.00%
- 10 MAKE WATER SERVICE CONNECTION TO EXISTING 8" WATER MAIN IN ACCORDANCE WITH VILLAGE REQUIREMENTS.
- 11 30 LF 1 1/2" TYPE K COPPER WATER SERVICE LINE W/B=BOX.
- 12 MAKE WATERTIGHT CONNECTION TO EXISTING STORM MANHOLE.
PROP. INV(N)=797.96.
- 13 8 LF 15" RCP C76 CLIV STORM SEWER S=1.00%.
- 14 105 LF 12" RCP C76 CLIV STORM SEWER S=1.14%.
- 15 55 LF 15" RCP C76 CLIV STORM SEWER S=0.50%.
- 16 50 LF 15" RCP C76 CLIV STORM SEWER S=0.40%.
- 17 68 LF 12" RCP C76 CLIV STORM SEWER S=0.60%.
- 18 90 LF 12" RCP C76 CLIV STORM SEWER S=0.30%.
- 19 13 LF 6" PVC SDR 26 STORM SEWER S=2.00% CONNECTED TO ROOF DRAIN.
- 20 12 LF 6" PVC STORM SEWER AWWA C900 CLASS 150 DR 18 PRESSURE PIPE WITH ELASTOMERIC JOINTS PER ASTM F-477 S=2.00% CONNECTED TO ROOF DRAIN.
- 21 12 LF 6" PVC STORM SEWER AWWA C900 CLASS 150 DR 18 PRESSURE PIPE WITH ELASTOMERIC JOINTS PER ASTM F-477 S=2.00% CONNECTED TO ROOF DRAIN.
- 22 TOP SAN=797.04, INV. ST.=798.30
- 23 TOP SAN=797.24, INV. ST.=798.44
- 24 TOP SAN=797.68, INV. ST.=798.49
- 25 TOP SAN=796.66, BOT. WM=798.25 (VERIFY)
- 26 TOP SAN=796.68, BOT. WM=798.25 (VERIFY)
- 27 TOP WM=796.80, INV. ST.=798.35
- 28 TOP WM=796.80, INV. ST.=798.40
- 29 EXISTING MANHOLE RIM SHALL BE RAISED FROM 802.81 TO 803.60.
- 30 EXISTING VALVE VAULT RIM SHALL BE RAISED FROM 805.20 TO 805.50.
- 31 EXISTING MANHOLE RIM SHALL BE LOWERED FROM 802.83 TO 802.32.
- 32 EXISTING FRAME AND CURB GRATE SHALL BE REMOVED AND REPLACED WITH NEW CAST IRON FRAME WITH DEPRESSION CURB GRATE. NEW GUTTER FLOW LINE SHALL MATCH EXISTING GUTTER FLOW LINE.
- 33 EXISTING PHONE AND ELECTRIC LINES SHALL BE SLEEVED OR REROUTED AROUND THE TRASH ENCLOSURE AS REQUIRED.
- 34 GAS SERVICE SIZED AND ROUTED BY NICOR.
- 35 ELECTRIC SERVICE SIZED AND ROUTED BY COM ED.

REVISIONS	
NO.	DATE
DESCRIPTION	

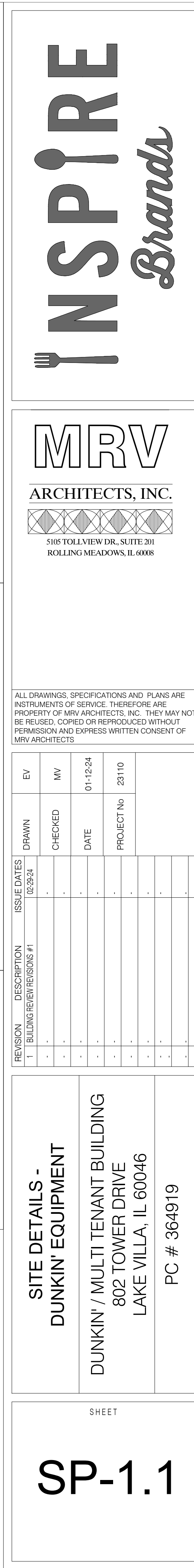
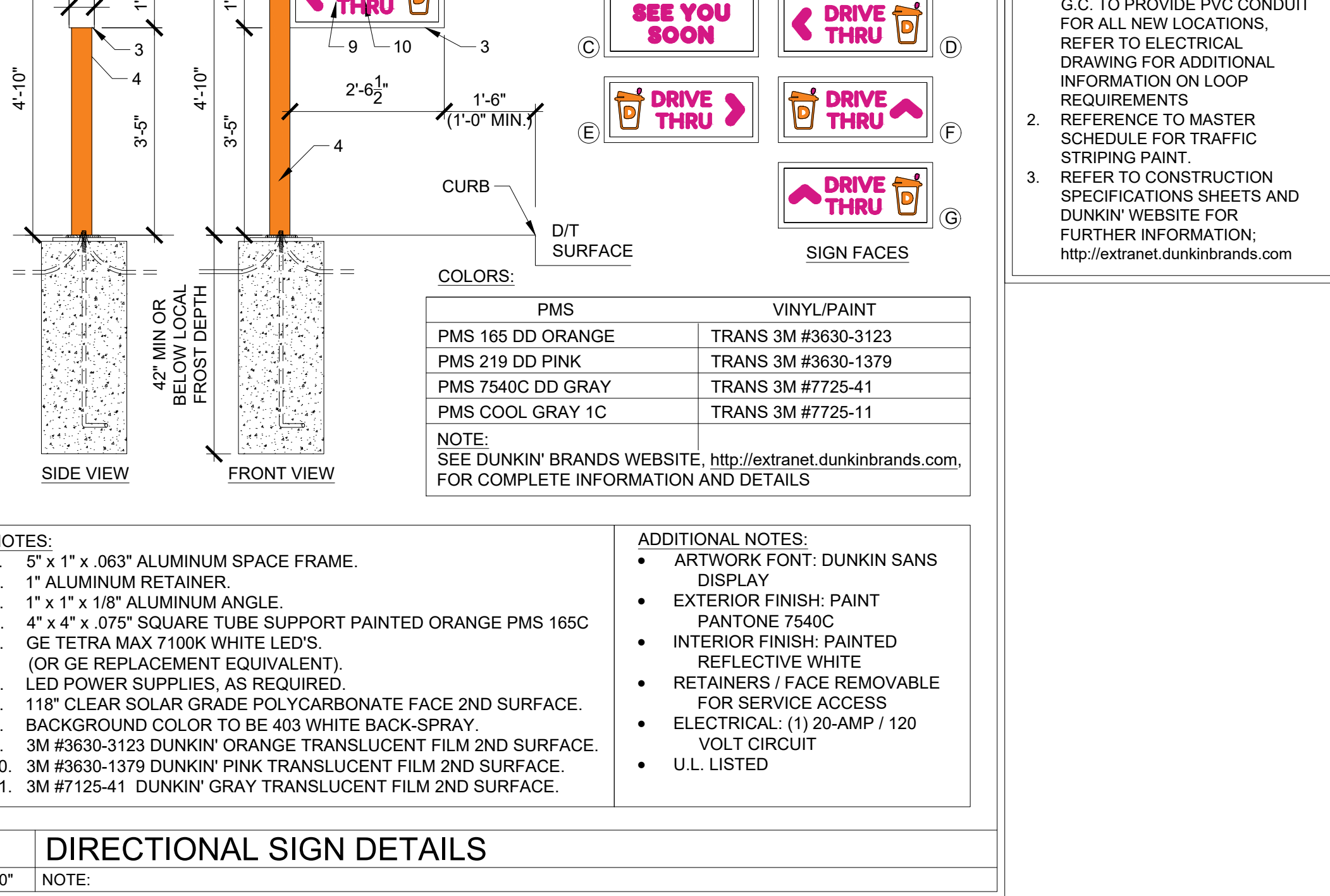
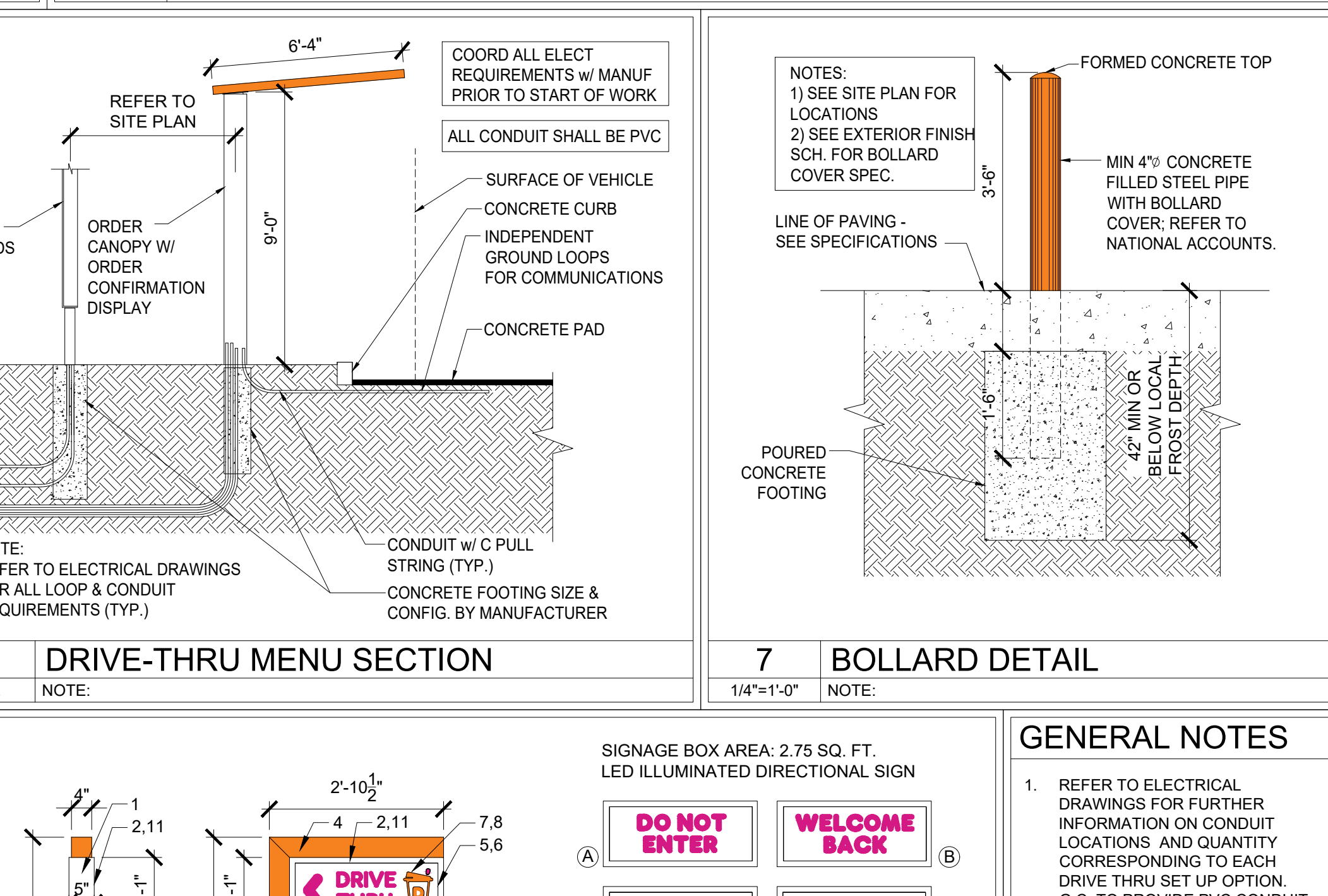
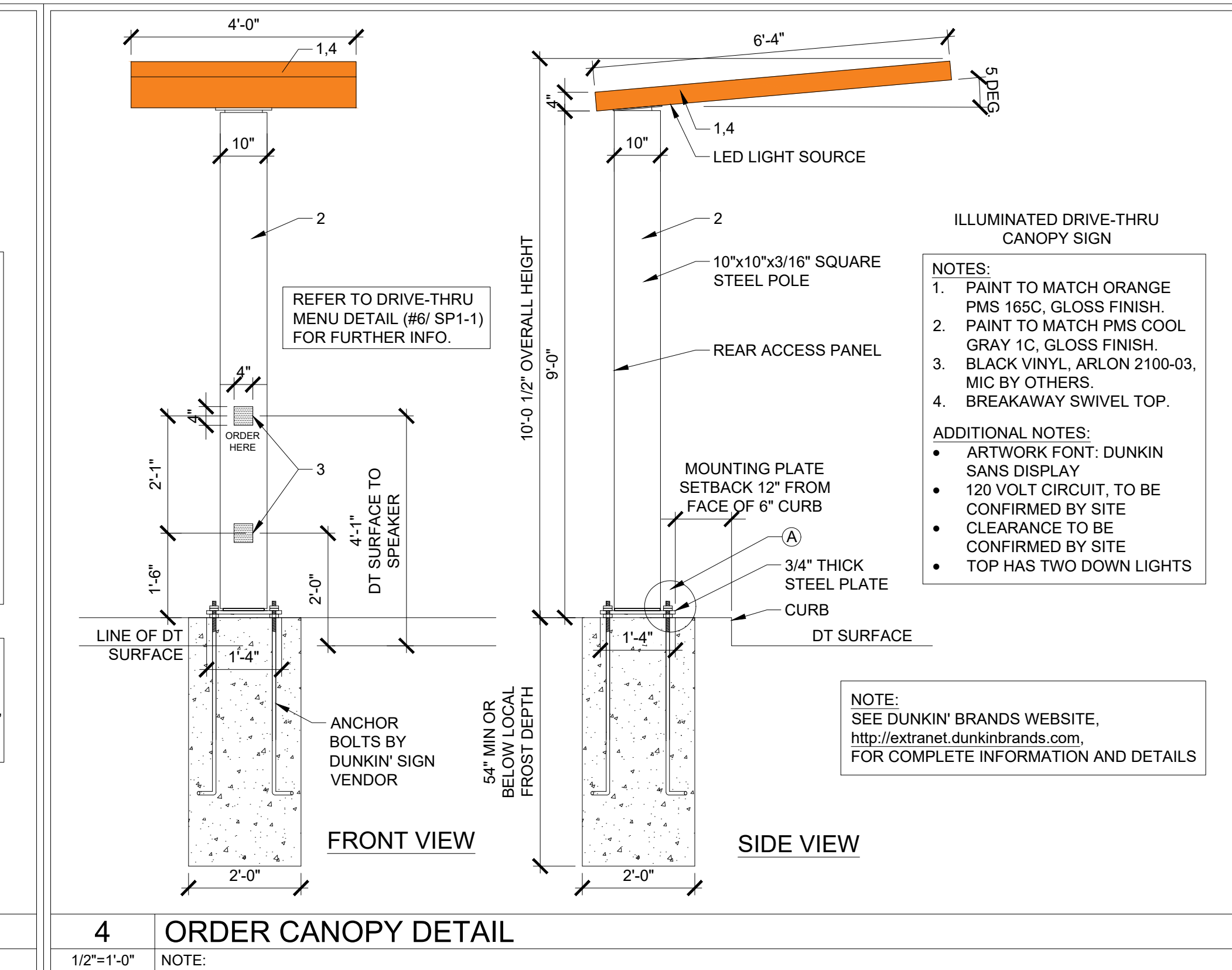
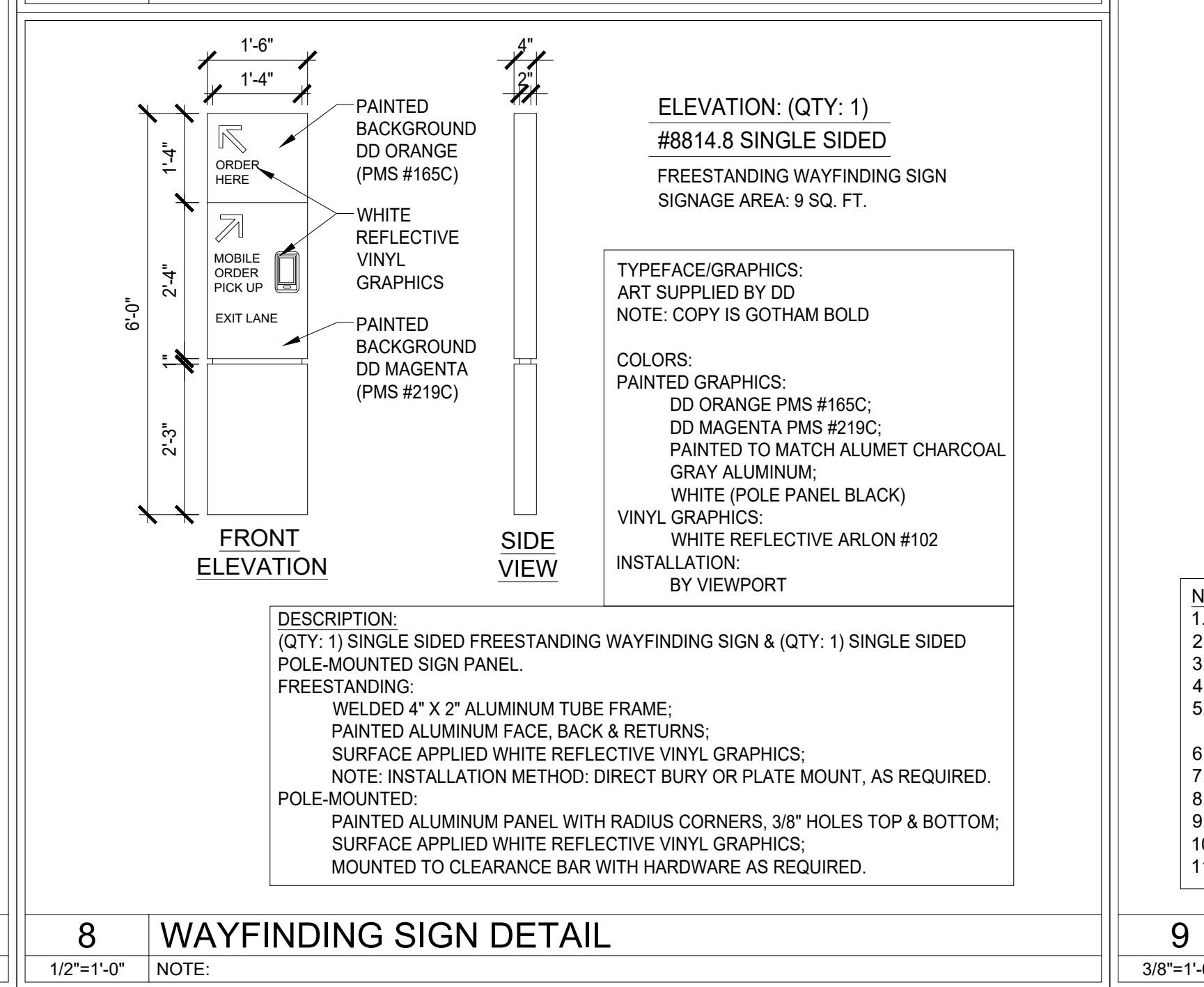
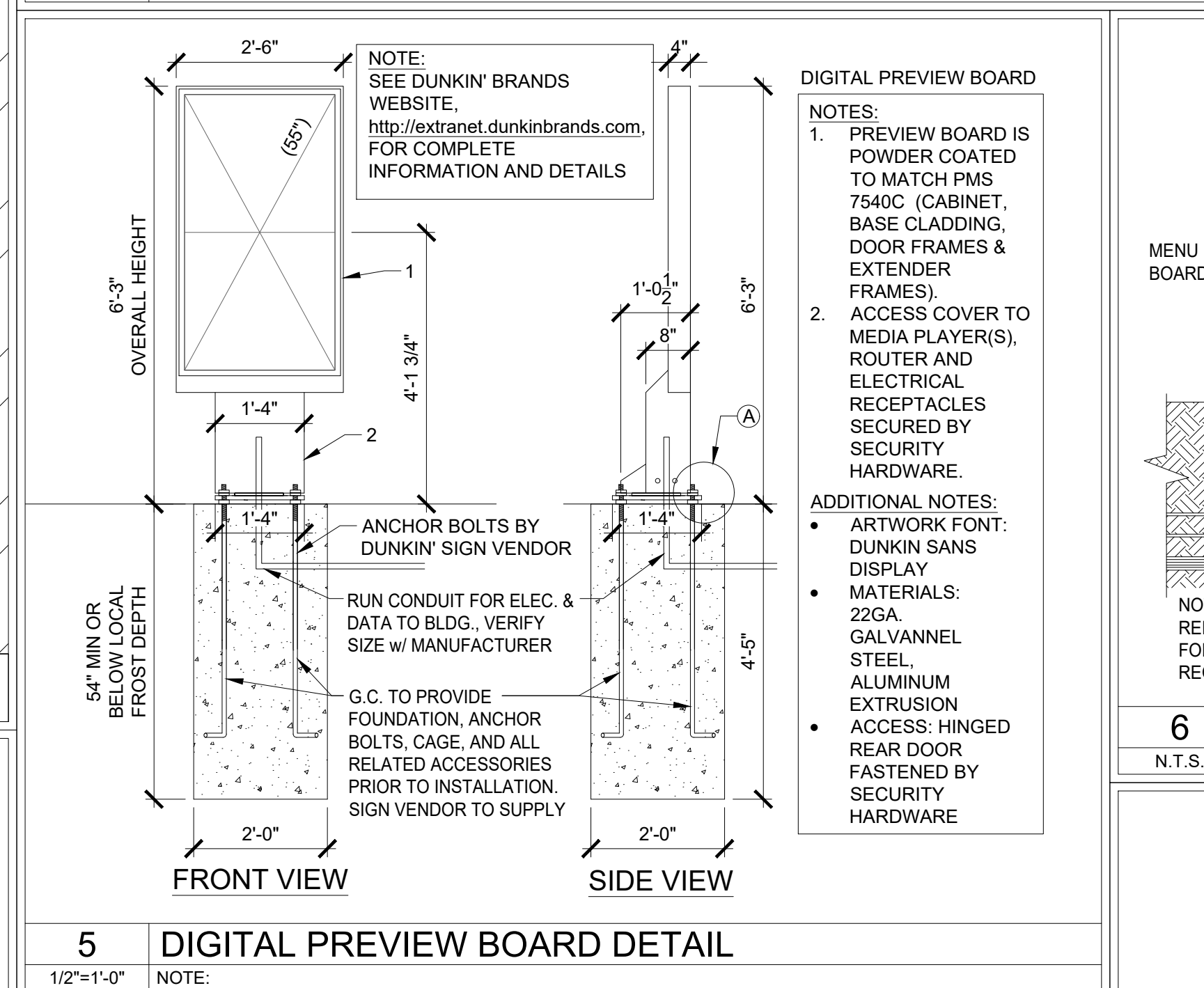
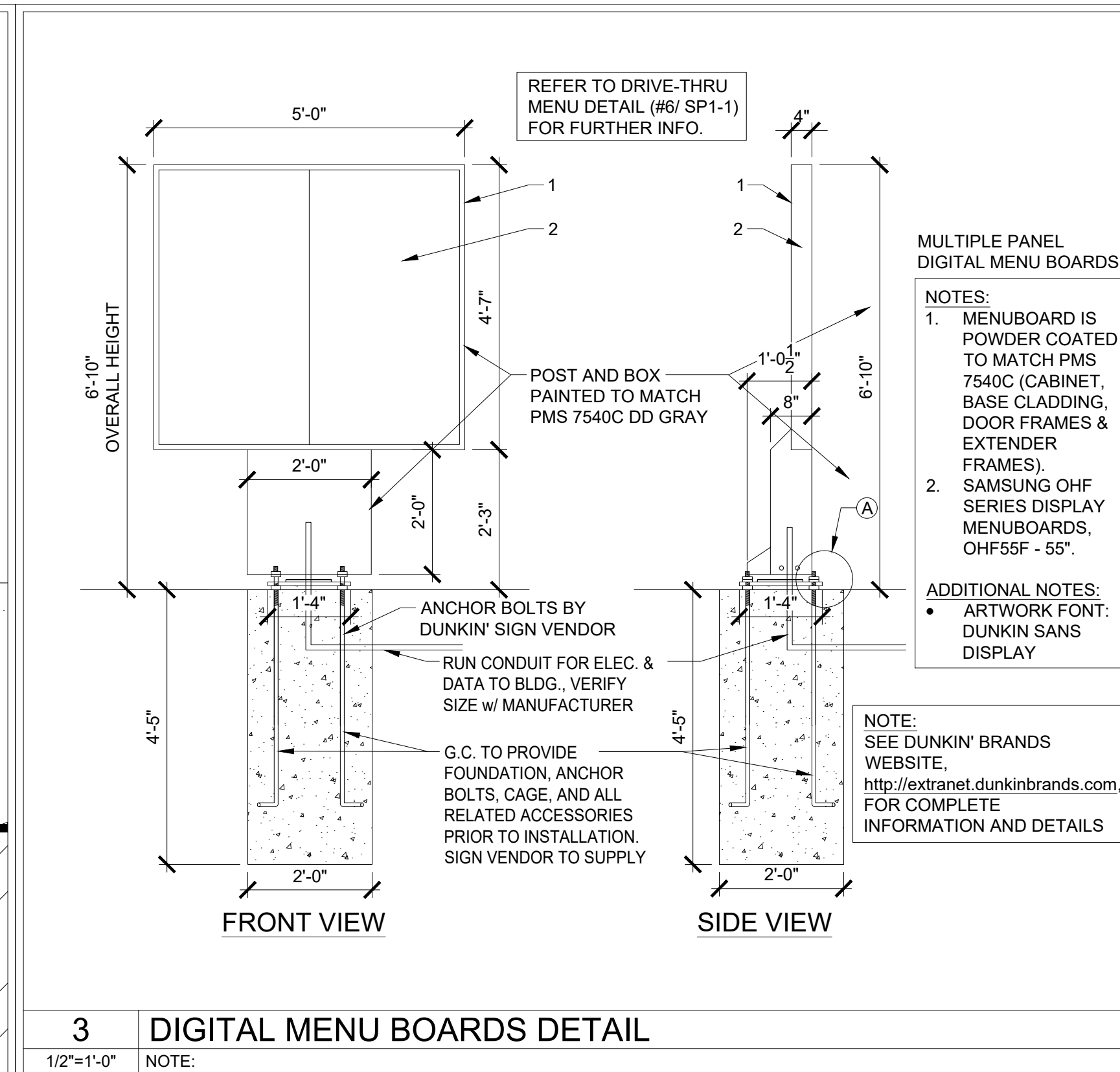
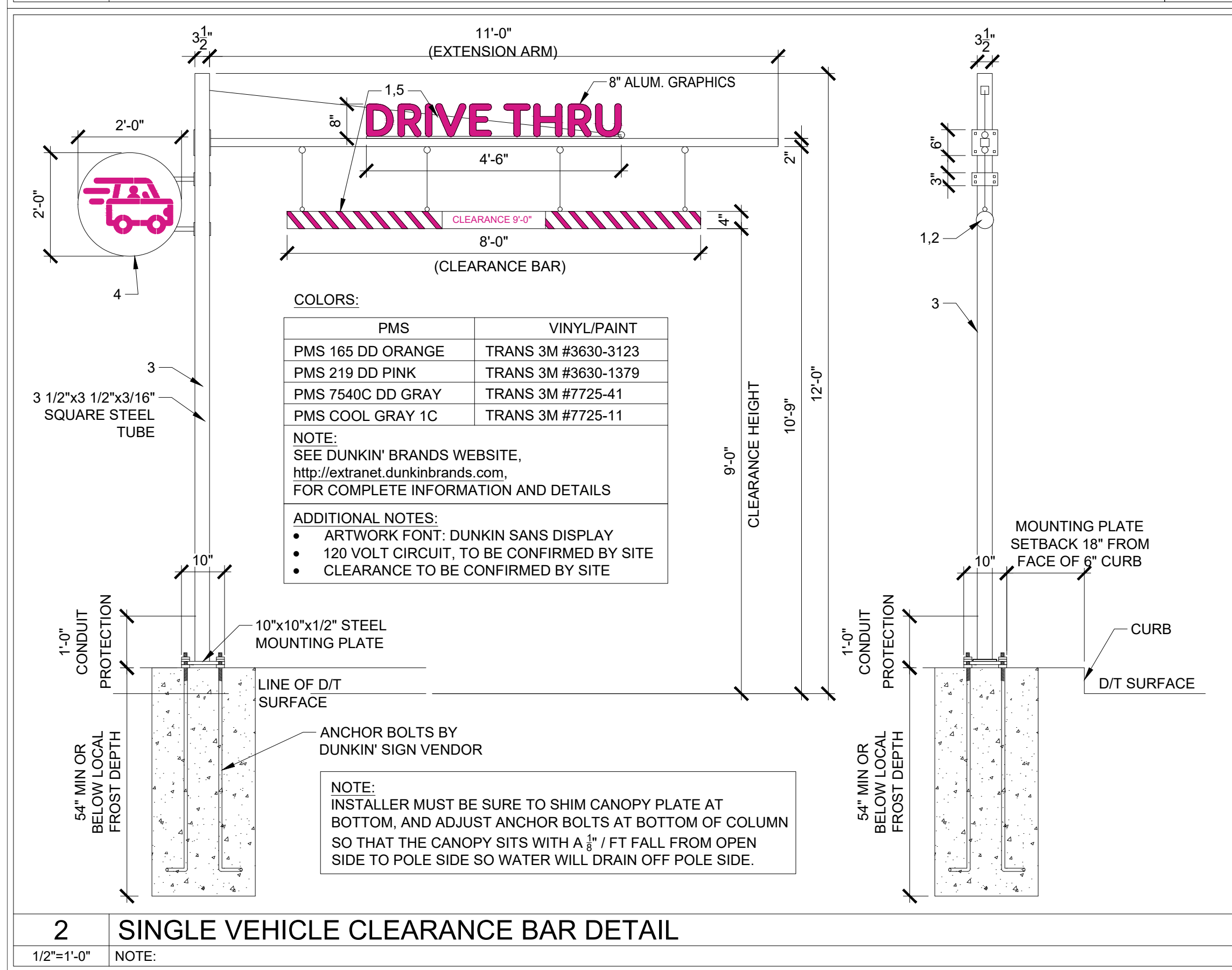
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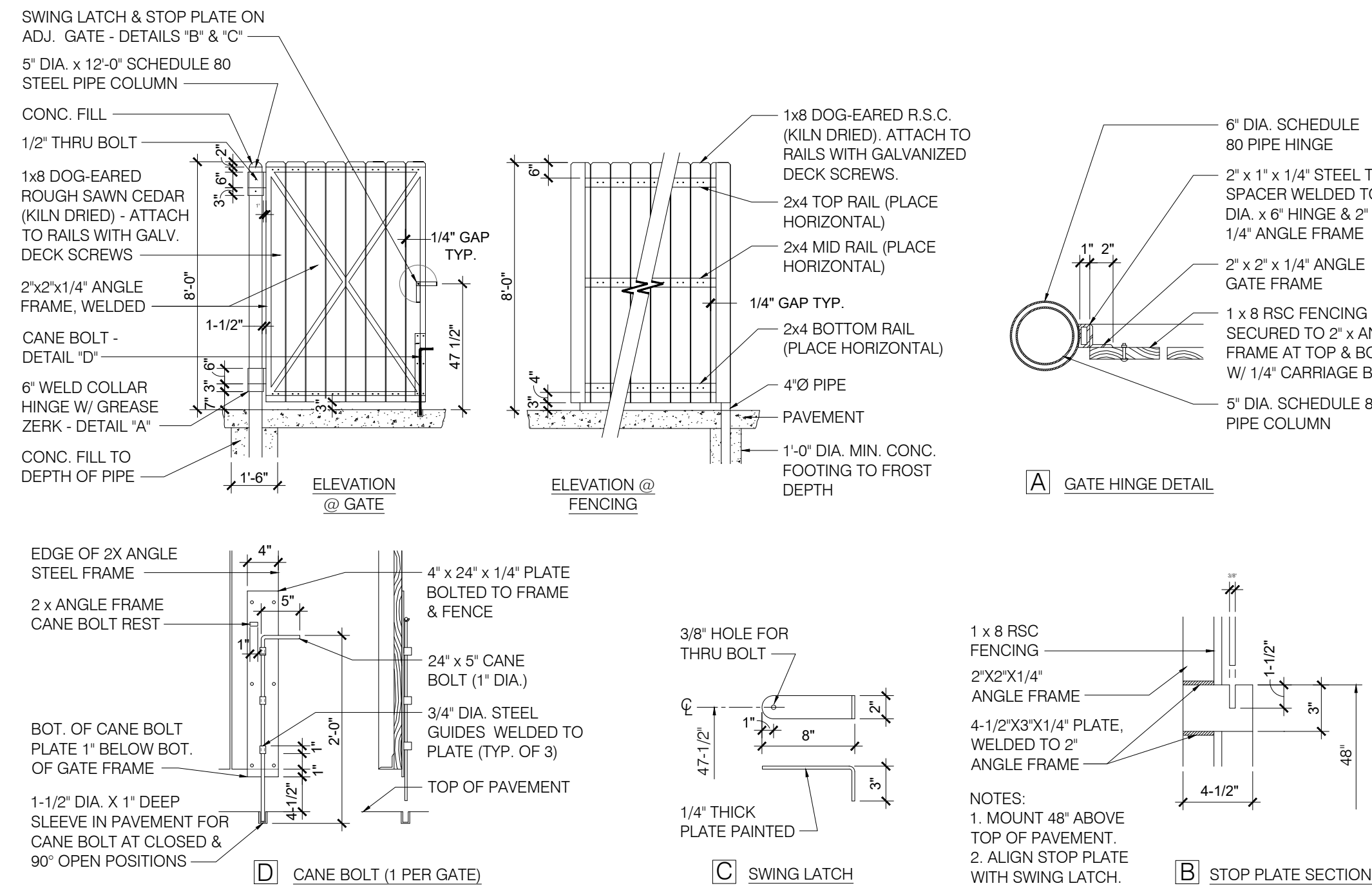
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JOB NO.
23-34

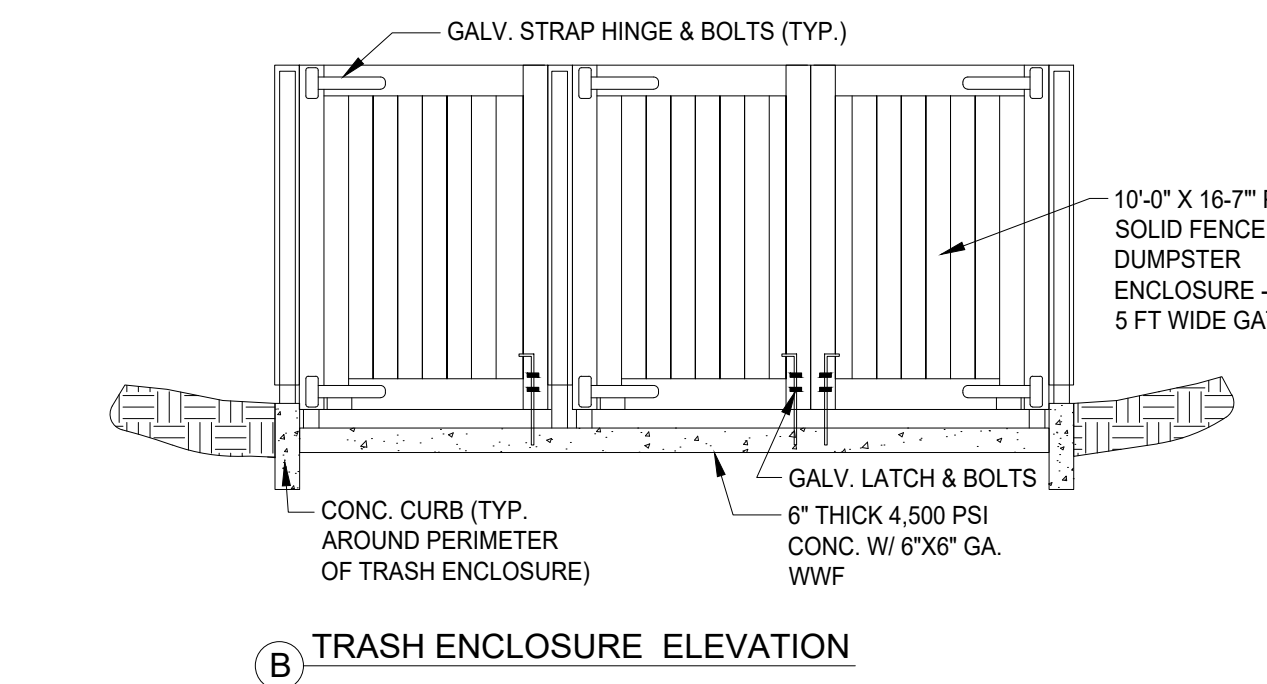
CIVIL ENGINEERS SITE PLANNERS LAND SURVEYORS
NORTHWESTERN ENGINEERING
CONSULTANTS, P.C.
675 N. NORTH COURT PALATKA, ILLINOIS 60067 (847) 520-8410
ILLINOIS PROFESSIONAL DESIGN FIRM LICENSE NO. 184-002495 EXP. 4-30-25

UTILITY PLAN
 DUNKIN' RESTAURANT
 802 TOWER DRIVE
 LAKE VILLA, ILLINOIS

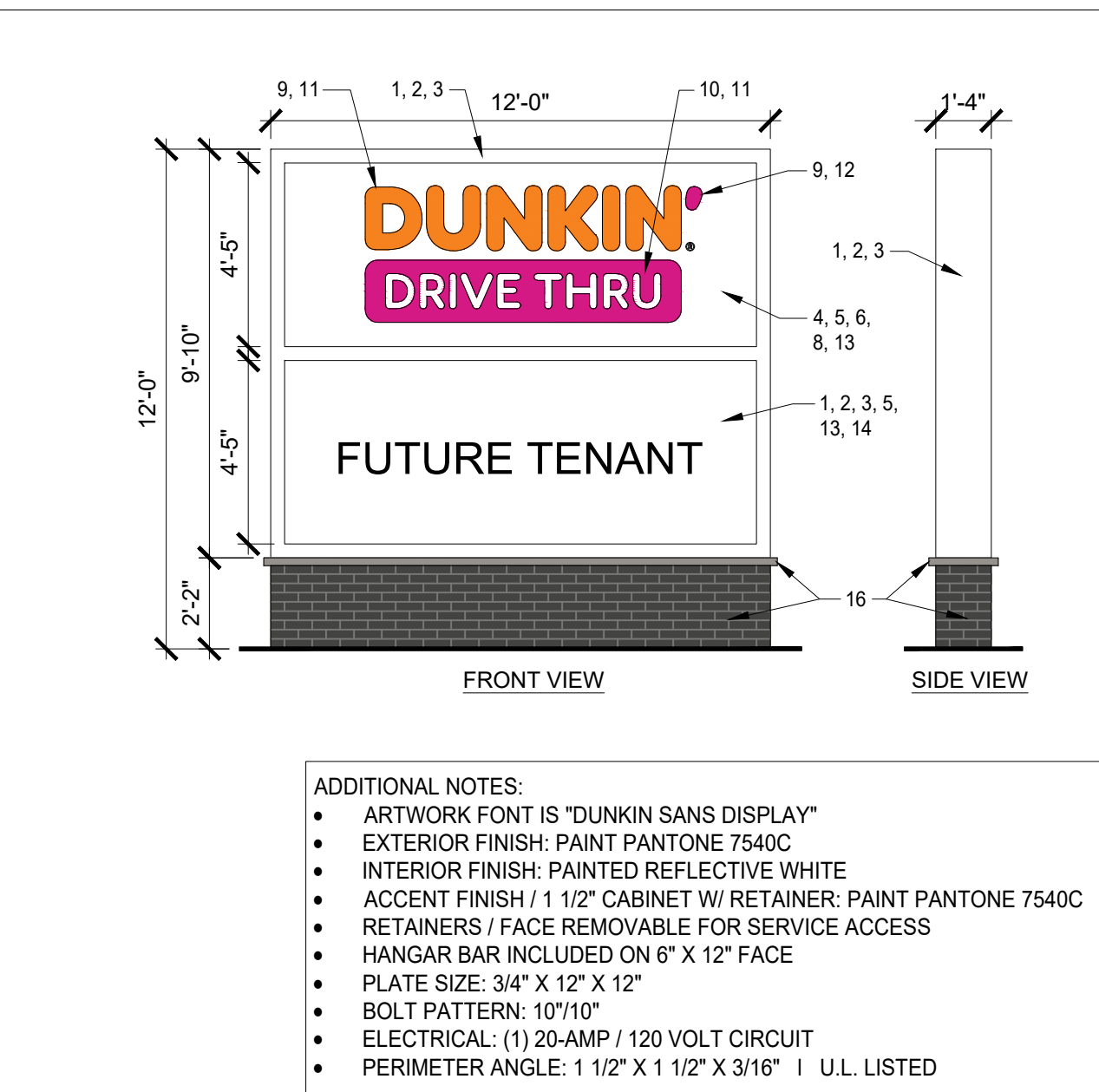




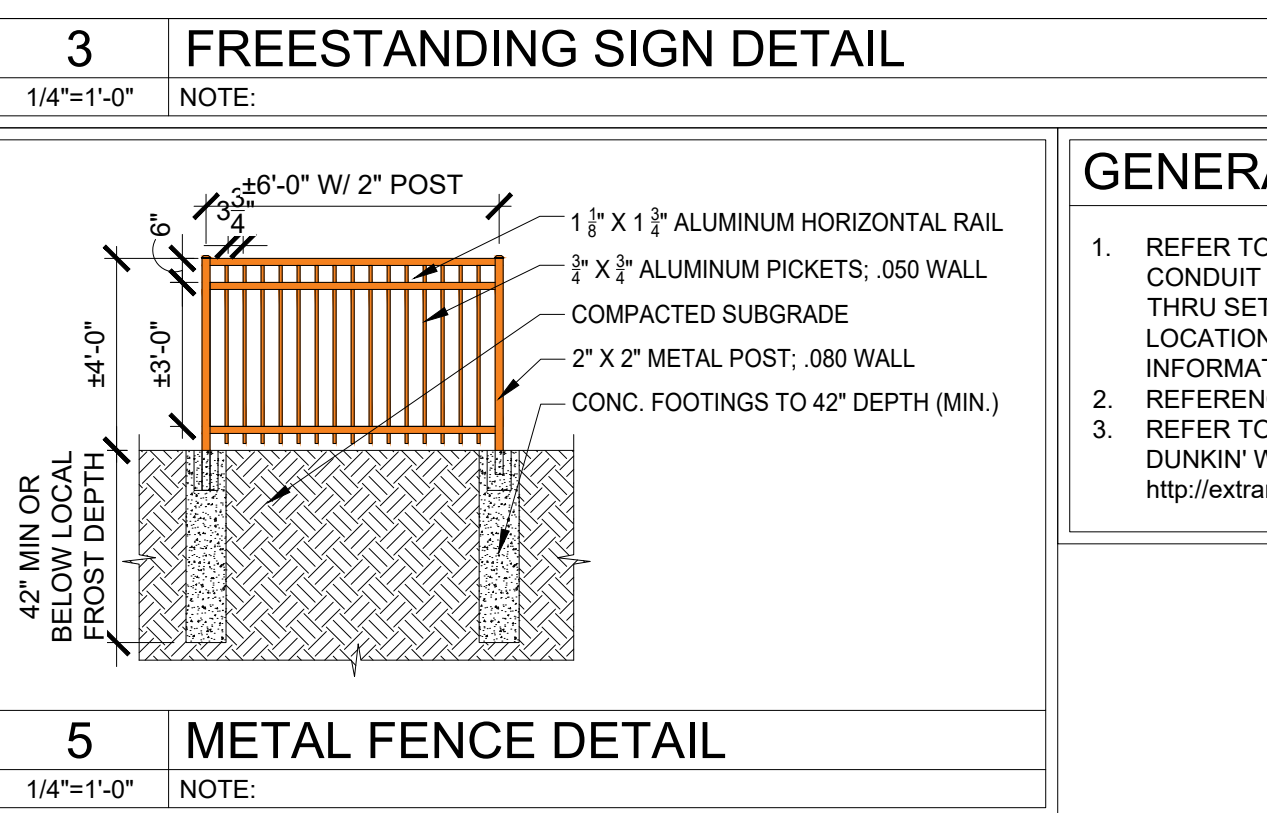
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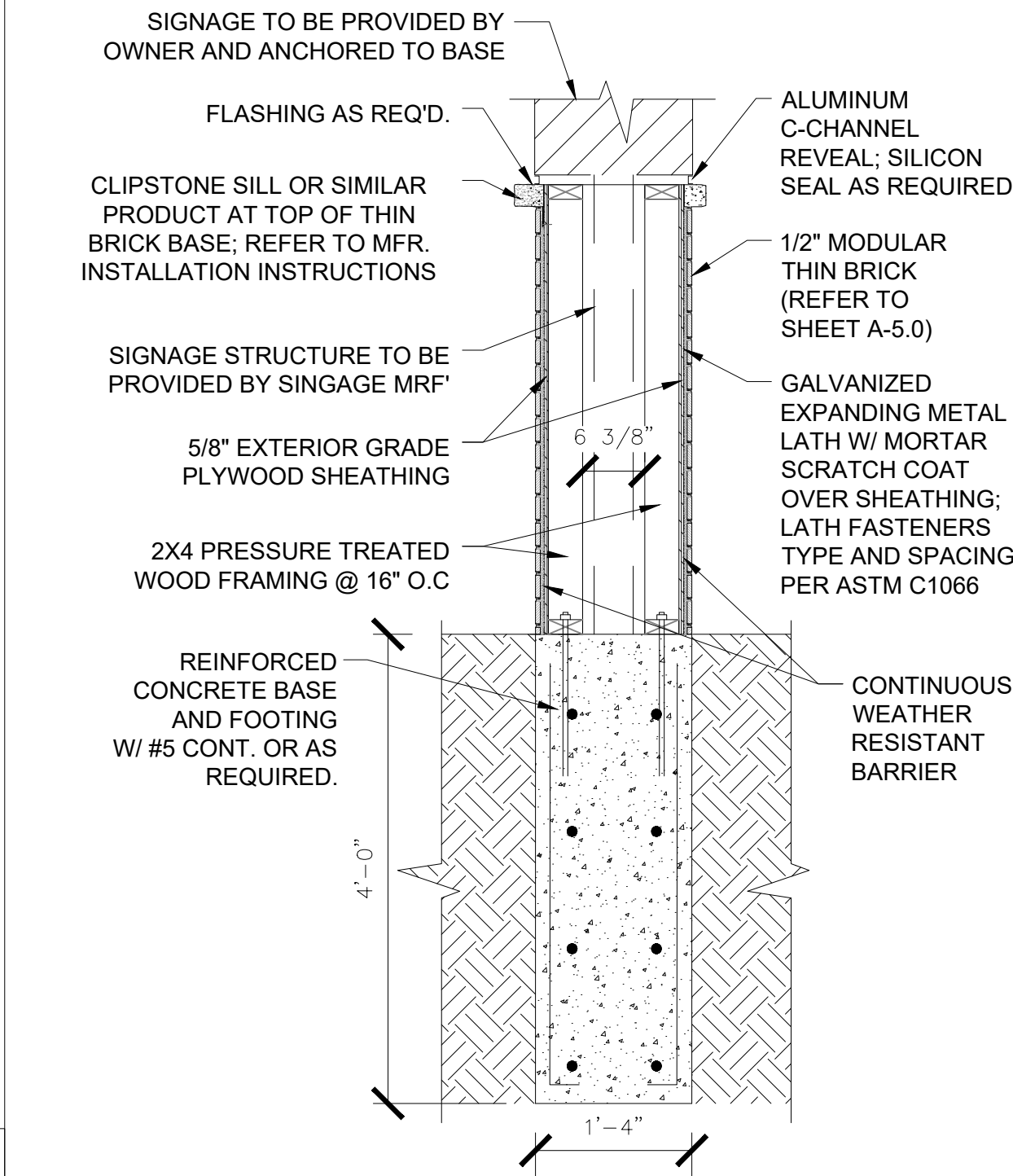
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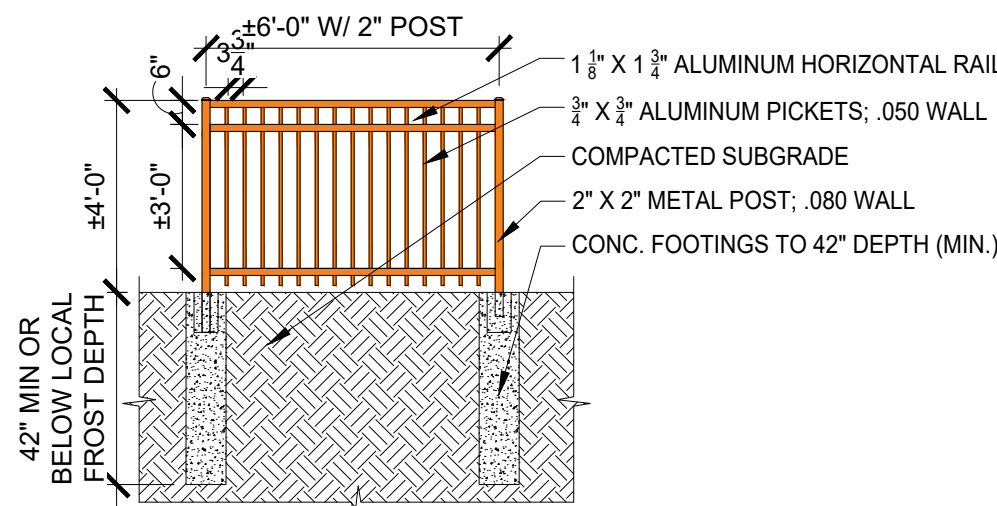
2	TRASH ENCLOSURE DETAILS
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2	TRASH ENCLOSURE DETAILS
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4	SECTION @ MONUMENT SIGNAGE BASE
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5	METAL FENCE DETAIL
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GENERAL NOTES

1. REFER TO ELECTRICAL DRAWINGS FOR FURTHER INFORMATION ON CONDUIT LOCATIONS AND QUANTITY CORRESPONDING TO EACH DRIVE THRU SET UP OPTION. G.C. TO PROVIDE PVC CONDUIT FOR ALL NEW LOCATIONS, REFER TO ELECTRICAL DRAWING FOR ADDITIONAL INFORMATION ON LOOP REQUIREMENTS
2. REFERENCE TO MASTER SCHEDULE FOR TRAFFIC STRIPING PAINT.
3. REFER TO CONSTRUCTION SPECIFICATIONS SHEETS AND DUNKIN' WEBSITE FOR FURTHER INFORMATION;
<http://extranet.dunkinbrands.com>

INSPIRE
Brands

MRV

ARCHITECTS, INC.

5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008

ALL DRAWINGS, SPECIFICATIONS AND PLANS ARE INSTRUMENTS OF SERVICE. THEREFORE ARE PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT PERMISSION AND EXPRESS WRITTEN CONSENT OF MRV ARCHITECTS

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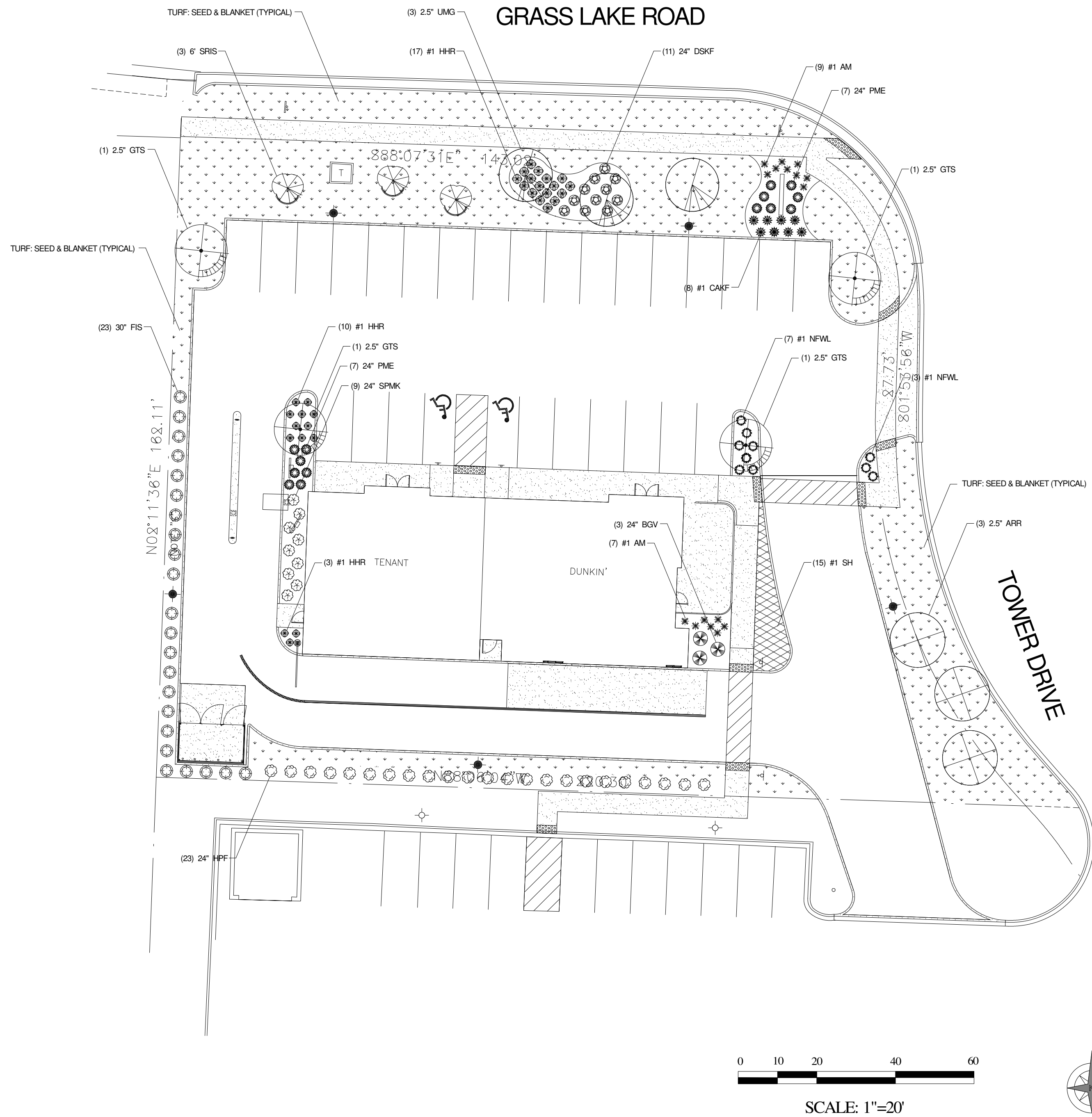
SITE DETAILS

DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046

PC # 364919

SHEET

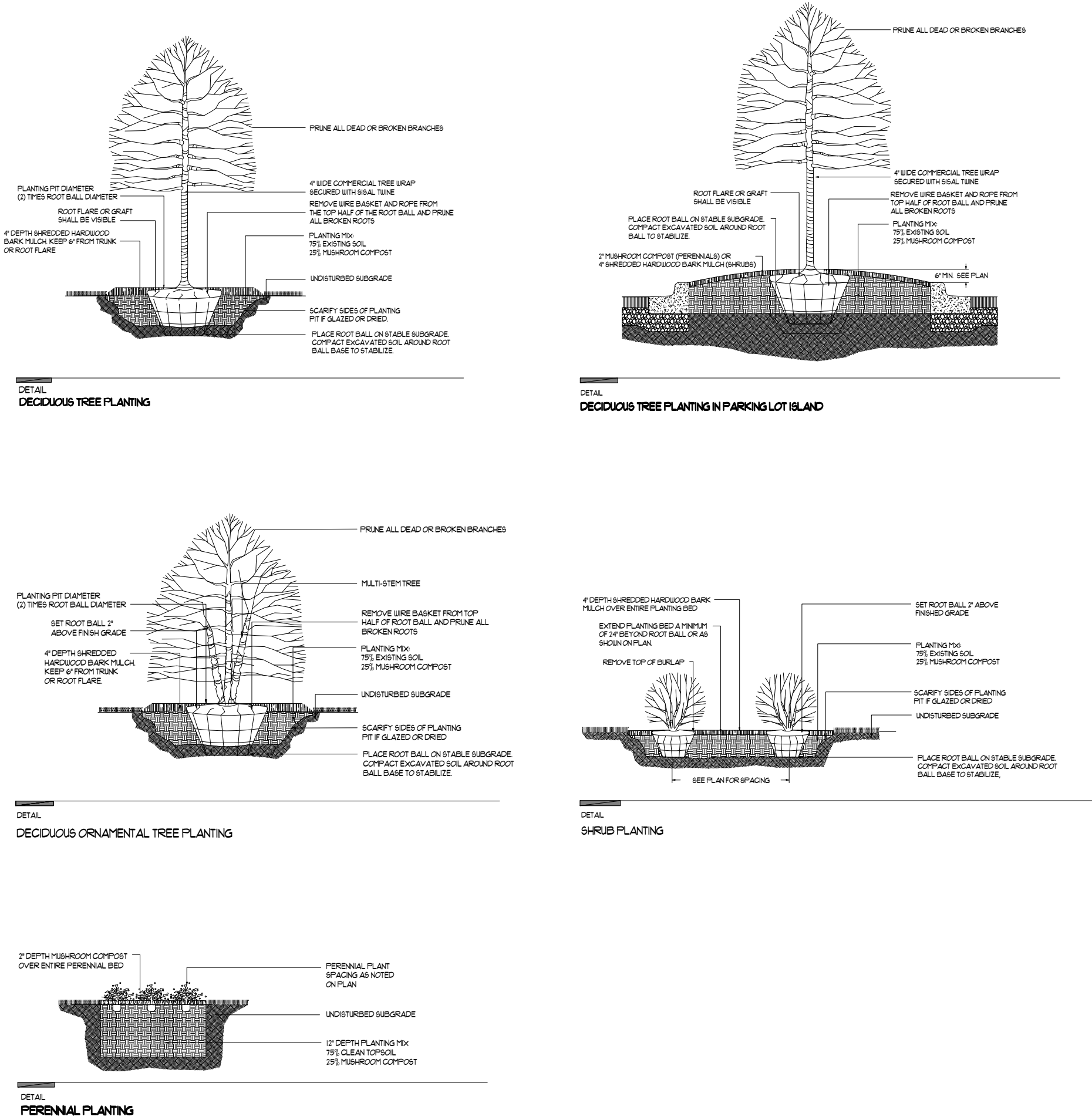
SP-1.2



PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks	Key
3	Redpointe Maple	Acer rubrum 'Redpointe'	2.5"	B&B	ARR
4	Skyline Locust	Gleditsia triacanthos 'Skyline'	2.5"	B&B	GTS
3	Triumph Elm	Ulmus 'Morton Glossy'	2.5"	B&B	UMG
3	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	6'	B&B	SRIS
3	Green Velvet Boxwood	Buxus 'Green Velvet'	24"	Cont.	BGV
11	Kodiak Fresh Honeysuckle	Diervilla splendens 'SMNDSS'	24"	Cont.	DSKF
23	Show Off Forsythia	Forsythia intermedia 'Show Off'	30"	Cont.	FIS
23	Fire Light Hydrangea	Hydrangea paniculata 'SMHPFL'	24"	Cont.	HPF
14	Enci Dwarf Mugo Pine	Pinus mugo 'Enci'	24"	Cont.	PME
9	Miss Kim Lilac	Syringa patula 'Miss Kim'	24"	Cont.	SPMK
16	Millenium Ornamental Onion	Allium 'Millenium'	#1	Pots	AM
8	Karl Foerster Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	#1	Pots	CAKF
30	Happy Returns Daylily	Hemerocallis 'Happy Returns'	#1	Pots	HHR
10	Walker's Low Catmint	Nepeta faassenii 'Walker's Low'	#1	Pots	NFWL
15	Prairie Dropseed	Sporobolus heterolepis	#1	Pots	SH

- NOTES:**
- The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
 - All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
 - Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all synthetic or plastic materials shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back burlap from the top of the root ball.
 - Recommended mulch depth is four inches (4") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree so the base of the trunk and root crown are exposed.
 - Prepare all perennial beds with one cubic yard of garden compost per 100 sf and the compost shall be rototilled to an 8" depth.
 - All plants shall be set plumb. It is the option of the landscape contractor to stake deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain plumb until the end of the guarantee period.
 - Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
 - The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with. And verify. Working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
 - Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
 - Turf shall be Premium Bluegrass Mix seed and blanket in all disturbed areas except where sod is noted.
 - Once a Landscape Plan has been approved and a Building Permit issued, the Planning and Zoning Administrator may authorize minor revisions to the approved Landscape Plan including the substitution of equivalent planting and ground covers where such revisions do not diminish the benefits of the approved Landscape Plan. As such, revisions shall require the written approval of the Planning and Zoning Administrator.
 - Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities.
 - Bare root plants shall not be allowed.
 - All planted areas and landscaped islands shall receive a four (4) inch layer of shredded hardwood bark mulch.



PREMIUM BLUEGRASS SEED MIX (4-5 LBS/1000 S.F.)

MIX %	SEED	GERMINATION	ORIGIN
22.82%	AWARD KENTUCKY BLUEGRASS	85%	OR
22.22%	NUGLADE KENTUCKY BLUEGRASS	85%	OR/WA
17.79%	JACKPOT KENTUCKY BLUEGRASS	85%	OR/WA
16.11%	EVEREST KENTUCKY BLUEGRASS	85%	OR
9.98%	FIESTA 4 PERENNIAL RYEGRASS	90%	MN
9.97%	HANCOCK PERENNIAL RYEGRASS	90%	MN
1.11%	INERT MATTER		

REVISIONS:

DOWDEN DESIGN GROUP
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
P.O. BOX 415, LIBERTYVILLE, IL 60048
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

DUNKIN'
802 TOWER DRIVE
LAKE VILLA, ILLINOIS

LANDSCAPE PLAN

DATE: 00.07.23
SCALE: NONE
DRAWN: CID



GENERAL

1. CODES AND STANDARDS

CODE: 2012 INTERNATIONAL BUILDING CODE

REFERENCED STANDARDS:

ASCE7: MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES
AISC 360: SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS
ACI 318: BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE
NDS: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION

2. DESIGN LOADS:

LIVE LOADS

MERCANTILE: 100 PSF
ROOF (MINIMUM): 20 PSF

SNOW LOAD

GROUND SNOW LOAD, Pg:
FLAT ROOF SNOW LOAD, Pf:
SNOW EXPOSURE FACTOR, Ce:
SNOW LOAD IMPORTANCE FACTOR, Is:
THERMAL FACTOR, Ct:
THERMAL FACTOR, Ct:
SLOPE FACTOR, Cs:
DRIET SURCHARGE, pd:
UNBALANCED SNOW LOADS (HIP ROOF):
- WINDWARD 7 PSF
- LEeward (RIDGE TO 6.25'-FT) 39 PSF
- LEeward (6.25'-FT TO EAVE) 23 PSF

WIND LOADING:

ULTIMATE WIND SPED, Vult: 115 MPH
NOMINAL WIND SPEED, Vmb: 90 MPH
RISK CATEGORY: II
WIND EXPOSURE: C
INTERNAL PRESSURE COEFFICIENT: ±0.18

SEISMIC LOADING:

SEISMIC IMPORTANCE FACTOR, I: 1.0
OCCUPANCY CATEGORY: II
IMPORTANCE FACTOR, I: 1.0
MAPPED SPECTRAL RESPONSE, Ss: 11.14%g
ACCELERATION, S1: 5.43%g
SITE CLASS: D
SDS: 0.119
SD1: 0.087
SEISMIC DESIGN CATEGORY: B
BASIC STRUCTURAL SYSTEM: BEARING WALL SYSTEM
SEISMIC RESISTING SYSTEM: LIGHT FRAME WALLS WITH WOOD PANELS
DESIGN BASE SHEAR, V: 0.018W
SEISMIC RESPONSE COEF., Cs: 0.018
RESPONSE MODIFICATION FACTOR, R: 6.5
ANALYSIS PROCEDURE: EQUIVALENT LATERAL-FORCE ANALYSIS

3. DEFERRED SUBMITTALS:

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND BEEN FOUND TO BE IN GENERAL CONFORMANCE TO THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL. THE FOLLOWING ITEMS WILL BE DEFERRED SUBMITTAL ITEMS:
-PREFABRICATED WOOD TRUSSES

4. DIMENSIONS ON STRUCTURAL DRAWINGS ARE TO BE CHECKED AGAINST ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AS WELL AS AGAINST FIELD CONDITIONS BY CONTRACTORS.

5. UNLESS NOTED OTHERWISE, DETAILS, SECTIONS, AND NOTES ON THE DRAWINGS ARE INTENDED TO BE TYPICAL FOR SIMILAR CONDITIONS.

6. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, HANGERS, SLEEVES, DUCTWORK, PADS AND ANCHOR RODS THAT ARE REQUIRED BY MECHANICAL EQUIPMENT.

7. IF DISCREPANCIES APPEAR ON THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION FROM THE ARCHITECT BEFORE BIDDING. IF THE CONTRACTOR FAILS TO MAKE SUCH REQUEST, IT IS PRESUMED THAT BOTH PROVISIONS WERE INCLUDED IN THE BID AND THE ARCHITECT SHALL DETERMINE WHICH OF THE CONFLICTING REQUIREMENTS SHALL GOVERN. THE CONTRACTOR SHALL PERFORM THE WORK AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH THE ARCHITECT'S DETERMINATION.

FOUNDATIONS

1. ALL SOIL SUPPORTED FOOTINGS SHALL BE FOUNDED UPON UNDISTURBED, NATURAL SOIL SUBGRADE OR ON THOROUGHLY TESTED AND APPROVED FILL WITH A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 3000 PSF APPROVED BY THE OWNER'S SOIL TESTING AGENCY. FINAL, EXACT ELEVATIONS AND SOIL BEARING CAPACITIES SHALL BE FIELD DETERMINED AND VERIFIED BY THE OWNER'S SOIL TESTING LABORATORY AND REVIEWED BY THE ARCHITECT/ENGINEER DURING CONSTRUCTION.

2. THE SOIL SUBGRADE FOR ALL FOOTINGS AND SLABS SHALL BE INSPECTED AND APPROVED BY THE OWNER'S TESTING LABORATORY IMMEDIATELY PRIOR TO PLACING CONCRETE.

3. ALL FOOTING AND SLAB SUBGRADES, INCLUDING PIT SLABS, SHALL BE COMPACTED TO 95 PERCENT OF STANDARD PROCTOR (ASTM D698) MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT, AS REQUIRED.

4. ALL ORGANIC AND/OR OTHER UNSUITABLE MATERIALS SHALL BE REMOVED FROM SUBGRADE AND BACKFILL AREAS AND BACKFILLED WITH SELECT FILL, COMPACTED TO 98 PERCENT OF STANDARD PROCTOR (ASTM D698) MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT.

5. DO NOT UNDERMINE EXISTING CONSTRUCTION.

6. PLACE BACKFILL SIMULTANEOUSLY ON BOTH SIDES OF FOUNDATION WALLS.

7. NO MUD SLABS, FOOTINGS OR SLABS SHALL BE PLACED ONTO OR AGAINST SUBGRADE CONTAINING FREE WATER, FROST OR ICE.

CONCRETE

1. CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE (ACI 318)", LATEST EDITION.

2. UNLESS NOTED OTHERWISE, CONCRETE SHALL BE NORMAL WEIGHT CONCRETE AND SHALL DEVELOP 3000 PSI MINIMUM COMPRESSIVE STRENGTH IN 28 DAYS.

3. VERTICAL WALL CONSTRUCTION JOINTS SHALL BE FORMED WITH VERTICAL BULKHEADS AND KEYS. WALL REINFORCING SHALL BE CONTINUOUS THROUGH THE JOINT OR SHALL BE DOWELED WITH AN EQUIVALENT AREA OF REINFORCEMENT.

4. NO SLAB SHALL HAVE COLD JOINTS IN A HORIZONTAL PLANE.

5. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE LOCATION AND PLACEMENT OF INSERTS, EMBEDDED PLATES, MASONRY ANCHORS, REGLETS, SLEEVES, DUCTWORK, PADS AND ANCHOR RODS. THE INSERTS, EMBEDDED PLATES, ETC. SHALL NOT INTERFERE WITH CONCRETE REINFORCEMENT LOCATION.

6. NO OPENING SHALL BE MADE IN ANY STRUCTURAL MEMBER WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT.

7. EXPOSED EXTERNAL CONCRETE CORNERS SHALL BE CHAMFERED 3/4 INCHES, UNLESS SHOWN OR NOTED OTHERWISE.

8. SLABS ON GRADE SHALL BE PLACED IN ALTERNATE STRIPS WITH A MAXIMUM WIDTH OF 60'-0" OR AS SHOWN ON PLAN. CONTROL JOINTS SHALL BE CUT WITHIN 24 HOURS AFTER THE CONCRETE HAS SET. CONTROL JOINTS SHALL NOT EXCEED 15'-0" INTERVALS IN EACH DIRECTION, AND SHALL BE LOCATED TO CONFORM WITH BAY SPACING WHEREVER POSSIBLE (I.E. AT COLUMN CENTERLINES, HALF-BAYS, THIRD-BAYS).

9. DEPRESSIONED SLABS SHALL MAINTAIN FULL THICKNESS UNLESS NOTED OTHERWISE.

REINFORCEMENT

- UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL CONFORM TO ASTM SPECIFICATION A615, GRADE 60.
- CORNER BARS SHALL BE PROVIDED AT WALL CORNERS EQUAL TO THE HORIZONTAL WALL REINFORCEMENT.
- ALL CONCRETE FORMED SLAB OR WALL OPENINGS SHALL BE REINFORCED WITH 2 NO. 5 BARS PLACED ONE IN EACH FACE AT 45 DEGREES TO OPENING CORNERS.
- THE FOLLOWING CONCRETE COVER SHALL BE PROVIDED FOR REINFORCEMENT UNLESS NOTED OTHERWISE:

MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT		
CONCRETE ELEMENT		MIN. COVER (IN.)
CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH		3"
CONCRETE EXPOSED TO EARTH OR WEATHER:		
#6 THROUGH #18 BARS		2"
#5 BAR, W31 OR D31 WIRE, AND SMALLER		1-1/2"
CONCRETE NOT EXPOSED TO WEATHER OR IN CONTACT WITH GROUND		
SLABS, WALLS AND JOISTS	#14 AND #18 BARS	1-1/2"
	#11 BAR AND SMALLER	3/4"
BEAMS AND COLUMNS	PRIMARY REINFORCEMENT, TIES, STIRRUPS, SPIRALS	1-1/2"

- ARRANGEMENT AND DETAILS OF REINFORCEMENT, INCLUDING BAR SUPPORTS AND SPACERS, SHALL BE IN ACCORDANCE WITH THE "A.C.I. DETAILING MANUAL (ACI SP-66)", LATEST EDITION.
- PROVIDE ALL ACCESSORIES NECESSARY TO SUPPORT REINFORCEMENT AT THE POSITIONS INDICATED. PLASTIC COATED ACCESSORIES SHALL BE USED IN ALL EXPOSED CONCRETE WORK.
- ALL EMBEDMENT LENGTHS AND LAPS SHALL BE AS REQUIRED BY ACI 318. UNLESS NOTED OTHERWISE, MINIMUM LAP SHALL BE 40 BAR DIAMETERS.

WOOD

1. DESIGN AND CONSTRUCTION OF STRUCTURAL LUMBER SHALL BE IN ACCORDANCE WITH THE AMERICAN FOREST AND PAPER ASSOCIATION "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION (ANSI/AF&PA NDS).

2. QUALITY ASSURANCE AND INSPECTION OF WOOD CONSTRUCTION ARE REQUIRED AS DEFINED BY THE BUILDING CODE.

3. STRUCTURAL LUMBER SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

SPECIES: SPRUCE-PINE-FIR
GRADE: NO. 1 / NO.2
BENDING, Fb: 875 PSI
TENSION PARALLEL TO GRAIN, Ft: 450 PSI
SHEAR PARALLEL TO GRAIN, Fv: 135 PSI
COMPRESSION PERPENDICULAR TO GRAIN, Fc(p): 425 PSI
COMPRESSION PARALLEL TO GRAIN, Fc: 1150 PSI
MODULUS OF ELASTICITY, E: 1,400,000 PSI
MAXIMUM IN USE MOISTURE CONTENT: 19%

4. LAMINATED VENEER LUMBER (LVL) FOR USE AS BEAMS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

BENDING, Fb: 2600 PSI
SHEAR PARALLEL TO GRAIN, Fv: 265 PSI
MODULUS OF ELASTICITY, E: 1,900,000 PSI

5. PARALLEL STRAND LUMBER (PSL) FOR USE AS POSTS SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:

COMPRESSION PARALLEL TO GRAIN, Fc: 2500 PSI
MODULUS OF ELASTICITY, E: 1,800,000 PSI

6. THERE SHALL BE NO FIELD CUTTING OF WOOD STRUCTURAL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR APPROVAL OF THE ARCHITECT.

WOOD TRUSSES

1. DESIGN AND CONSTRUCTION OF PREFABRICATED WOOD TRUSSES SHALL BE IN ACCORDANCE WITH 'NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS' (NDS) BY THE NATIONAL FOREST PRODUCTS ASSOCIATION AND 'DESIGN SPECIFICATION FOR METAL PLATE CONNECTED WOOD TRUSSES' BY THE TRUSS PLATE INSTITUTE (TPI), LATEST EDITIONS.

2. THE DESIGN AND DETAILING OF ALL WOOD TRUSSES IS DELEGATED TO A SPECIALTY PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN. FULLY DETAILED SHOP DRAWINGS AND CALCULATIONS PREPARED BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF WISCONSIN SHALL BE SUBMITTED FOR REVIEW.

3. TRUSS DESIGN CRITERIA:

TOP CHORD LIVE LOAD: 20 PSF + DRIFTING PER ROOF PLAN
TOP CHORD DEAD LOAD: 15 PSF
BOTTOM CHORD LIVE LOAD: 0 PSF
BOTTOM CHORD DEAD LOAD: 10 PSF

LIVE LOAD DEFLECTION CRITERIA: L/240

4. TRUSS BRACING CRITERIA:

TOP CHORD: CONTINUOUSLY BRACED BY ROOF SHEATHING
BOTTOM CHORD: NO CEILING DIRECTLY ATTACHED TO TRUSSES- TRUSS DESIGNER TO PROVIDE A FULLY ENGINEERED PERMANENT BRACING SYSTEM AS REQUIRED AND DESIGNED BY THE TRUSS DESIGNER

5. PROVIDE TEMPORARY BRACING AS REQUIRED UNTIL PERMANENT BRACING SYSTEM IS FULLY INSTALLED.

6. ALL LUMBER USED FOR TRUSS MEMBERS SHALL BE IN ACCORDANCE WITH THE PUBLISHED VALUES OF A RECOGNIZED RULES WRITING AGENCY AND SHALL BEAR THE STAMP OF THAT AGENCY.

7. CONNECTOR PLATES SHALL BE MANUFACTURED OF NOT LESS THAN 20 GA. STEEL AND SHALL MEET THE REQUIREMENTS OF ASTM A446. PLATES SHALL BE BE GALVANIZED IN CONFORMANCE WITH ASTM A525.

8. FABRICATION, HANDLING, STORAGE AND ERECTION SHALL BE IN ACCORDANCE WITH TRUSS PLATE INSTITUTE RECOMMENDED PRACTICES.

9. TRUSSES SHALL NOT BE CUT, ADDED ONTO OR ALTERED IN ANY WAY WITHOUT PRIOR APPROVAL OF THE TRUSS ENGINEER.

STRUCTURAL STEEL

1. STRUCTURAL STEEL WORK SHALL CONFORM TO THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS", AND THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".

2. STRUCTURAL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO ASTM ASTM A992. PLATES, ANGLES, CHANNELS AND MISCELLANEOUS MATERIAL SHALL CONFORM TO ASTM A36. HOLLOW STRUCTURAL SECTIONS SHALL CONFORM TO ASTM A500, GRADE B. STEEL PIPE SECTIONS SHALL CONFORM TO ASTM A53, GRADE B.

3. ANCHOR RODS SHALL BE ASTM A307, 3/4" DIAMETER WITH 4" HOOKS AND 9" EMBEDMENT, UNLESS NOTED OTHERWISE.

4. HIGH STRENGTH BOLTING SHALL BE DONE IN ACCORDANCE WITH AISC "SPECIFICATION FOR STRUCTURAL JOINTS USING ASTM A325 OR ASTM A490 BOLTS".

5. BOLTS, NUTS AND WASHERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A325. BOLTS SHALL BE 3/4 INCH DIAMETER MINIMUM.

6. WELDING SHALL BE DONE BY CERTIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE - STEEL", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.

7. THE FABRICATOR/ERECTOR SHALL SUBMIT TO THE ARCHITECT FOR REVIEW, ENGINEERED AND CHECKED DRAWINGS SHOWING SHOP FABRICATION DETAILS, FIELD ASSEMBLY DETAILS AND ERECTION DIAGRAM FOR ALL STRUCTURAL STEEL.

8. UNLESS NOTED OTHERWISE, CONNECTIONS SHALL BE EITHER AISC SINGLE PLATE OR DOUBLE ANGLE SHEAR CONNECTIONS USING A325-N BOLTS.

9. FIELD CONNECTIONS, EXCEPT WHERE SHOWN TO BE WELDED, SHALL BE BOLTED.

10. CONNECTIONS SHALL BE DESIGNED FOR THE BEAM REACTIONS INDICATED ON THE DRAWINGS. IN CASES WHERE REACTIONS ARE NOT INDICATED, PROVIDE AT LEAST ONE HALF OF THE UNIFORM LOAD CARRYING CAPACITY OF THE BEAM. THE MINIMUM NUMBER OF BOLTS FOR ANY CONNECTION SHALL BE TWO (2). CONNECTIONS SHALL NOT BE LESS THAN ONE HALF THE DEPTH OF THE BEAM.

11. BEAMS AND JOISTS SHALL BE FABRICATED WITH THE NATURAL CAMBER UP. PROVIDE CAMBERS AS INDICATED ON THE DRAWINGS.

12. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF ALL ERECTION PROCEDURES AND SEQUENCES WITH RELATION TO TEMPERATURE DIFFERENTIALS, ESPECIALLY WITH RESPECT TO STRUCTURAL STEEL FRAMING INTO CONCRETE WALLS, BEAMS OR COLUMNS.

13. THERE SHALL BE NO FIELD CUTTING OF STRUCTURAL STEEL MEMBERS FOR THE WORK OF OTHER TRADES WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.

14. ERECT AND MAINTAIN TEMPORARY BRACING TO INSURE THE ALIGNMENT AND STABILITY OF THE STRUCTURE DURING ERECTION UNTIL PERMANENT CONNECTIONS HAVE BEEN COMPLETED.

15. ALL STRUCTURAL STEEL EXPOSED TO VIEW IN THE FINISHED BUILDING SHALL CONFORM TO THE AISC "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES", SECTION 10, "ARCHITECTURAL EXPOSED STRUCTURAL STEEL".

SPECIAL INSPECTION NOTES

1. THE OWNER SHALL EMPLOY ONE OR MORE APPROVED AGENCIES TO PERFORM SPECIAL INSPECTIONS DURING CONSTRUCTION ON THE TYPES OF WORK LISTED IN THE TABLE BELOW.

2. THE SPECIAL INSPECTOR SHALL BE A QUALIFIED PERSON WHO SHALL DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR THE INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION REQUIRING SPECIAL INSPECTION.

3. SPECIAL INSPECTORS SHALL KEEP RECORDS OF INSPECTIONS AND SHALL FURNISH INSPECTION REPORTS TO THE BUILDING OFFICIAL, AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE. REPORTS SHALL INDICATE THAT WORK INSPECTED WAS OR WAS NOT COMPLETED IN CONFORMANCE TO APPROVED CONSTRUCTION DOCUMENTS. DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION. IF THEY ARE NOT CORRECTED, THE DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDING OFFICIAL AND TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE PRIOR TO THE COMPLETION OF THAT PHASE OF THE WORK. A FINAL REPORT DOCUMENTING REQUIRED SPECIAL INSPECTIONS AND CORRECTION OF ANY DISCREPANCIES NOTED IN THE INSPECTIONS SHALL BE SUBMITTED AT A POINT IN TIME AGREED UPON PRIOR TO THE START OF WORK BY THE APPLICANT AND THE BUILDING OFFICIAL.

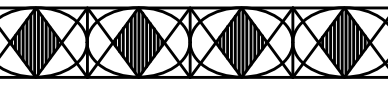
4. ALL WELDING SHALL BE DONE BY CERTIFIED WELDERS AND SHALL CONFORM TO AWS D1.1 "STRUCTURAL WELDING CODE - STEEL", LATEST EDITION OR AWS D1.3 "STRUCTURAL WELDING CODE - SHEET STEEL", LATEST EDITION. ALL WELDING ELECTRODES SHALL BE E70XX.

TABLE OF SPECIAL INSPECTIONS			
TASK	FREQUENCY		REF. STANDARDS
	CONTINUOUS	PERIODIC	
SOILS			
1. VERIFY MATERIALS BELOW FOUNDATIONS ARE ADEQUATE TO ACHIEVE THE DESIGN BEARING CAPACITY	--	X	GEOTECHNICAL REPORT
2. VERIFY EXCAVATIONS ARE EXTENDED TO PROPER DEPTH AND HAVE REACHED PROPER MATERIAL.	--	X	GEOTECHNICAL REPORT
3. PERFORM CLASSIFICATION AND TESTING OF COMPACTED FILL MATERIALS.	--	X	GEOTECHNICAL REPORT
4. VERIFY USE OF PROPER MATERIALS, DENSITIES AND LIFT THICKNESSES DURING PLACEMENT AND COMPACTION OF COMPACTED FILL.	X	--	GEOTECHNICAL REPORT
5. PRIOR TO PLACEMENT OF COMPACTED FILL, OBSERVE SUBGRADE AND VERIFY THAT SITE HAS BEEN PREPARED PROPERLY.	--	X	GEOTECHNICAL REPORT
CONCRETE			
EXCLUDING SPECIAL INSPECTIONS SHALL NOT BE REQUIRED FOR: - ISOLATED CONCRETE FOOTINGS OF BUILDINGS THREE STORES OR LESS. - CONTINUOUS CONCRETE FOOTINGS SUPPORTING WALL OF BUILDINGS THREE STORES OR LESS SUPPORTING LIGHT FRAME CONSTRUCTION - NONSTRUCTURAL CONCRETE SLABS ON GRADE - CONCRETE PATIOS, DRIVEWAYS AND SIDEWALKS, ON GRADE.			
1. INSPECTION OF REINFORCING STEEL AND PLACEMENT	--	X	IBC 1913.4, ACI 318: 3.5, 7.1-7.7
2. INSPECTION OF BOLTS TO BE INSTALLED IN CONCRETE PRIOR TO AND DURING PLACEMENT OF CONCRETE.	X	--	IBC 1913.5, 1912.1, ACI 318: 8.1.3, 21.2.8
3. INSPECTION OF ANCHORS INSTALLED IN HARDENED CONCRETE.	--	X	IBC 1912.1, ACI 318: 5.8.6, 8.1.3, 21.2.8
4. VERIFY USE OF REQUIRED DESIGN MIX.	--	X	IBC 1904.3, 1913.2, 1913.3, ACI 318: CH. 4, 5.2-5.4
5. AT TIME FRESH CONCRETE IS SAMPLED TO FABRICATE SPECIMENS FOR STRENGTH TESTS, PERFORM SLUMP AND AIR CONTENT TESTS, AND DETERMINE THE TEMPERATURE OF THE CONCRETE.	X	--	IBC 1913.10, ACI 318: 5.6, 5.8, ASTM C172, C31
6. INSPECTION OF CONCRETE PLACEMENT FOR PROPER APPLICATION TECHNIQUES.	X	--	IBC 1913.6, 1913.7, 1913.8, ACI 318: 5.9, 5.10
7. INSPECTION FOR MAINTENANCE OF SPECIFIED CURING TEMPERATURE AND TECHNIQUES.	--	X	IBC 1913.9, ACI 318: 5.11-5.13
STEEL			
1. MATERIAL VERIFICATION OF STRUCTURAL STEEL, HIGH STRENGTH BOLTS, NUTS, AND WELDING ELECTRODES.	X	--	IBC 1705.2, 1708.4
2. STEEL JOIST INSTALLATION, FIELD WELDING AND BRIDGING OF JOISTS.	--	X	IBC 1704.3.2
3. INSTALLATION AND TIGHTENING OF HIGH-STRENGTH BOLTS. VERIFICATION THAT BOLTS HAVE SEPARATED IN TENSION CONTROL, BOLTS AND PROPER TIGHTENING SEQUENCE.	--	X	IBC 1705.2
4. INSPECTION OF BOLTS IN SLIP CRITICAL CONNECTIONS.	X	--	IBC 1705.2
5. VISUAL INSPECTION OF WELDS, INSPECT PRE-HEAT, POST-HEAT AND SURFACE PREPARATION BETWEEN PASSES, VERIFY SIZE AND LENGTH OF FILLET WELDS.	--	X	IBC 1704.3.1
6. ULTRASONIC TESTING OF ALL FULL-PENETRATION WELDS	X	--	IBC 1704.3.1
7. INSPECT STEEL FRAME FOR COMPLIANCE WITH STRUCTURAL DRAWINGS, INCLUDING BRACING MEMBER CONFIGURATION AND CONNECTION DETAILS.	--	X	IBC 1704.3.2
8. INSPECT WELDING AND SIDE-LAP FASTENING OF METAL ROOF DECK	--	X	IBC 1704.3.2

INSPIRE
Brands

MRV

ARCHITECTS, INC.



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DURING MEADOWS, IL 60008

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REVISION	DESCRIPTION	DATE	DRAWN		CHECKED	VOC	DATE		PROJECT NO.										
			1	2			1-16-24	22049											

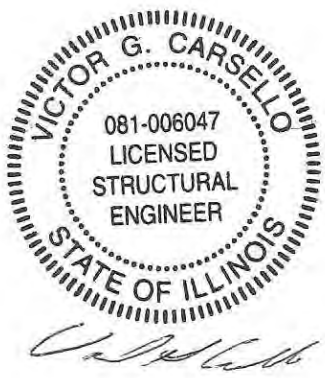
GENERAL STRUCTURAL NOTES

DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046

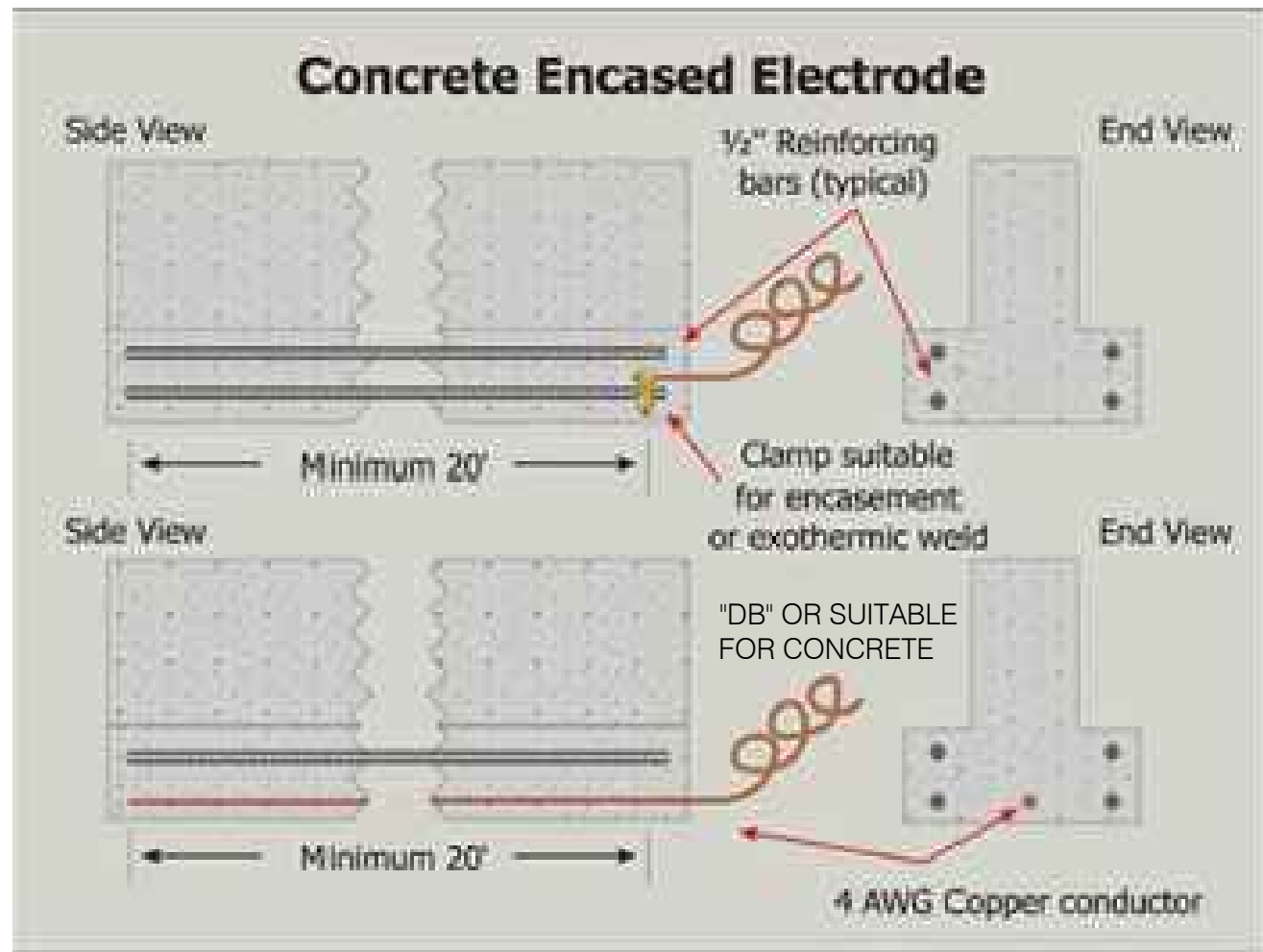
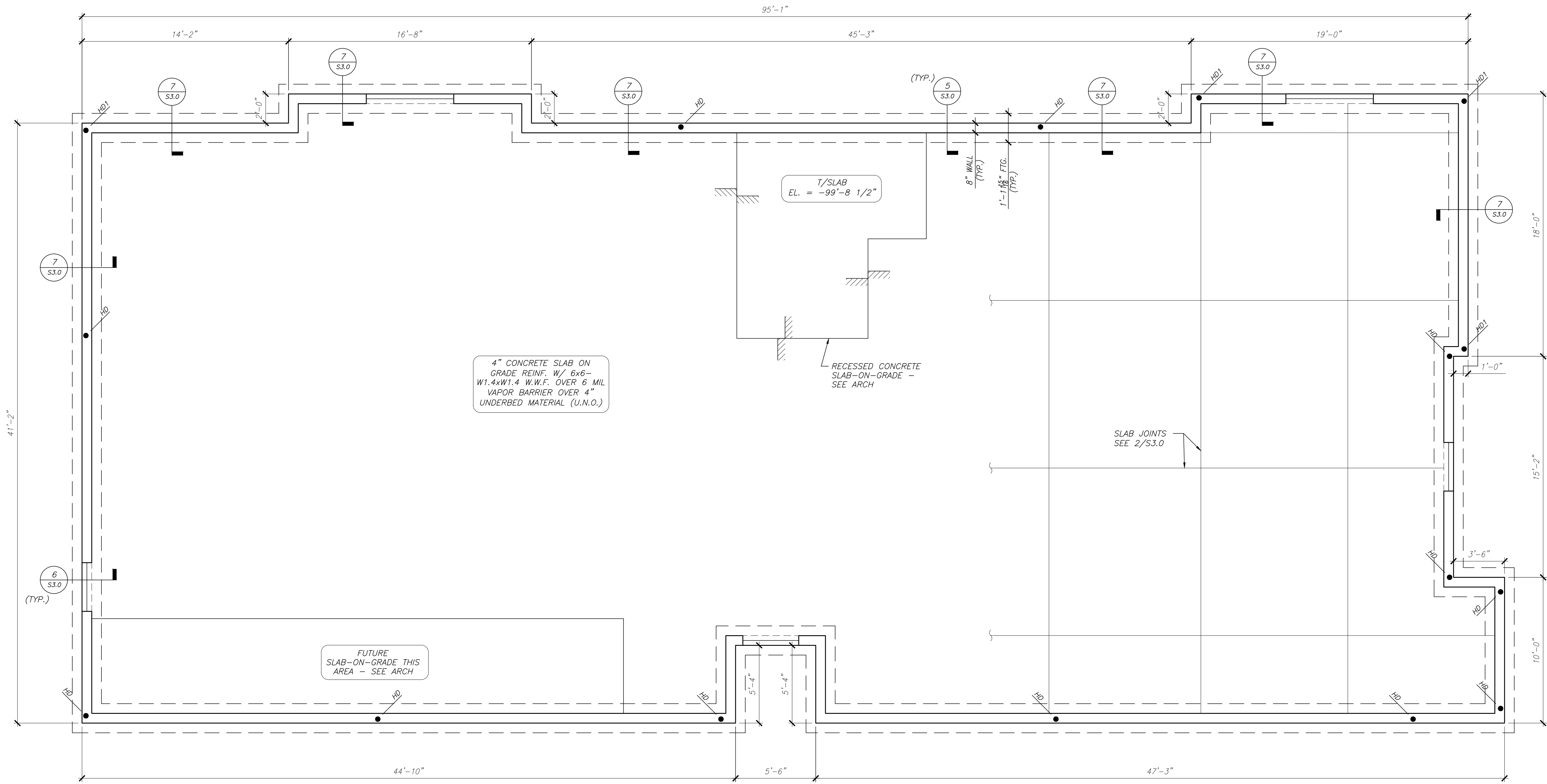
PC # 364919

SHEET

S-0.0



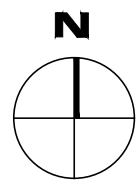
DATE: 1/16/24
LIC. EXPIRES: 11/30/24



NOTE: SEE ALSO ELECTRICAL DRAWINGS.

1 Foundation Plan

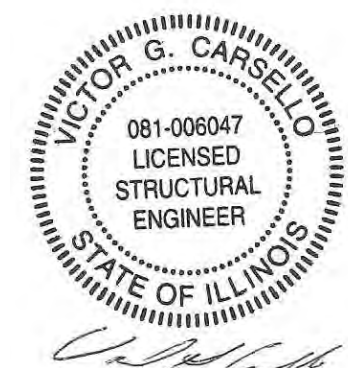
Scale: 1/4" = 1'-0"



- NOTES:
1. T/SLAB EL. = 100'-0".
 2. T/WALL EL. = 100'-0".
 3. T/FTG. EL. = 97'-0".
 4. 'HD' INDICATES SHEARWALL HOLDOWN. REFER TO SHEARWALL SCHEDULE ON FRAMING PLAN.
 5. 'HD1' INDICATES SIMPSON HITS HOLDOWN WITH 5/8" DIA. HILTI HAS THREADED ROD OR EQUAL AND HILTI HIT-HY 200 ADHESIVE (12.5" EMBED.).
 6. FOR DOOR OPENING SIZES AND LOCATIONS REFER TO ARCH DWGS.
 7. SEE SHEET S0.0 FOR GENERAL NOTES.
 8. SEE SHEET S3.0 FOR TYPICAL FOUNDATION DETAILS.

2 Concrete Encased Electrode Detail

Scale: NTS



DATE: 1/16/24
LIC. EXPIRES: 11/30/24

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5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008

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REVISION	DESCRIPTION	ISSUE DATES	DRAWN	MAK
1	VILLAGE REVIEW COMMENTS	2/28/24	CHECKED	VGC
			DATE	1-16-24
			PROJECT No	22049

FOUNDATION PLAN

DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046
PC # 364919

SHEET

S-1.0



REVISION	DESCRIPTION	ISSUE DATES	DRAWN	EV
1	BUILDING REVIEW/REVISIONS #1	02-29-24	CHECKED	MW
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	DATE	01-12-24
-	-	-	-	-
-	-	-	-	-
-	-	-	PROJECT NO	23110
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

PC # 364919

A-5.0



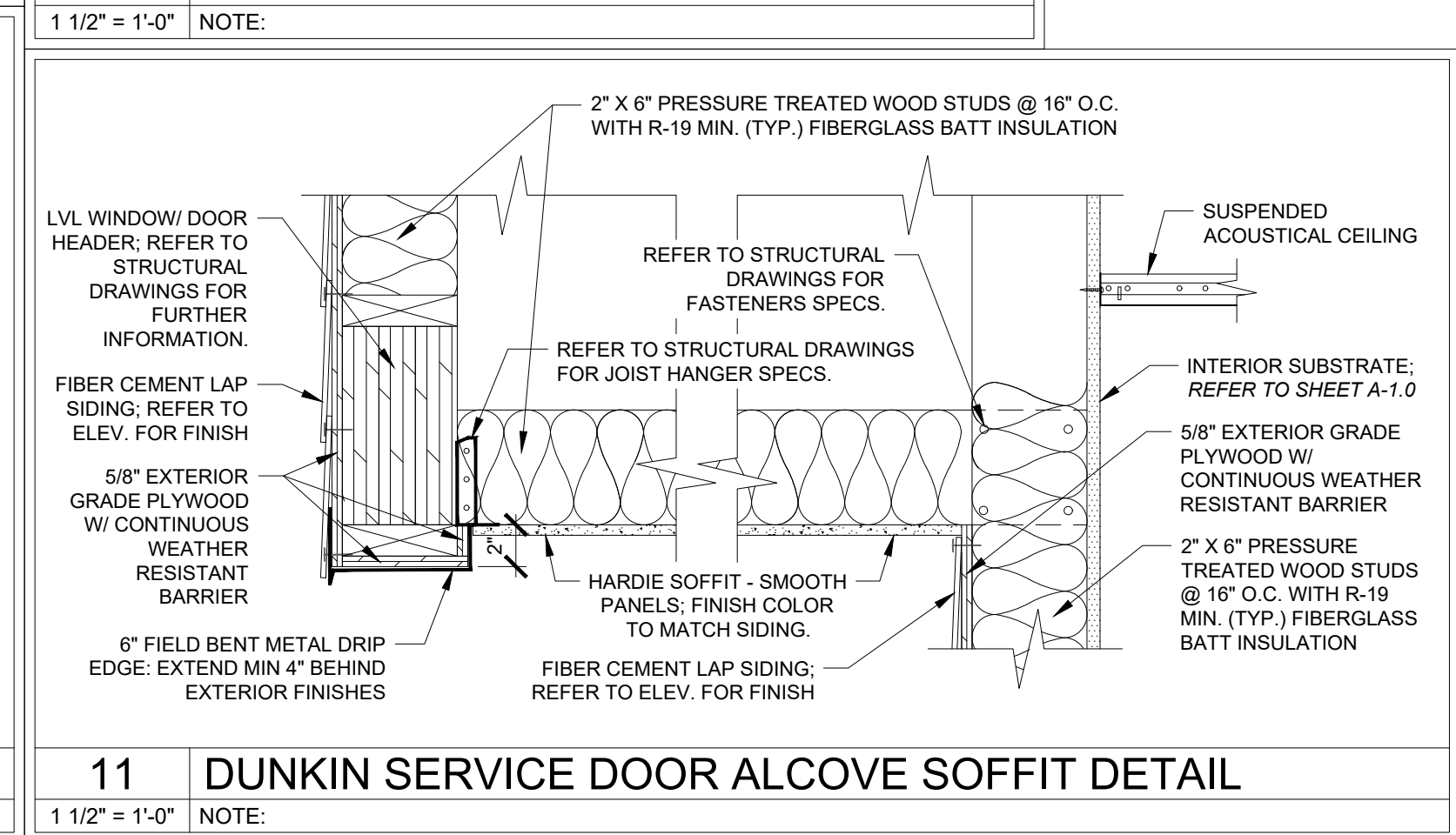
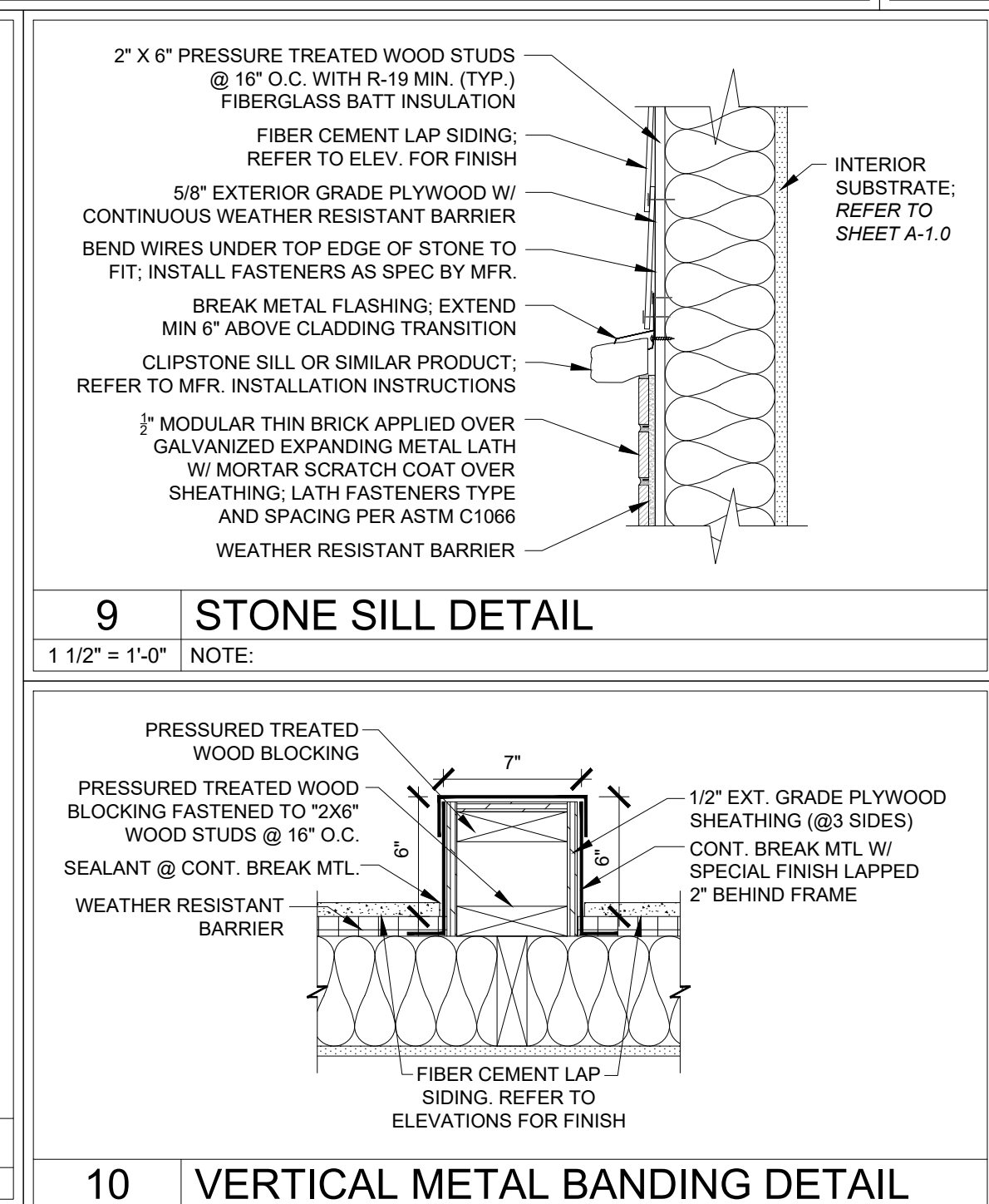
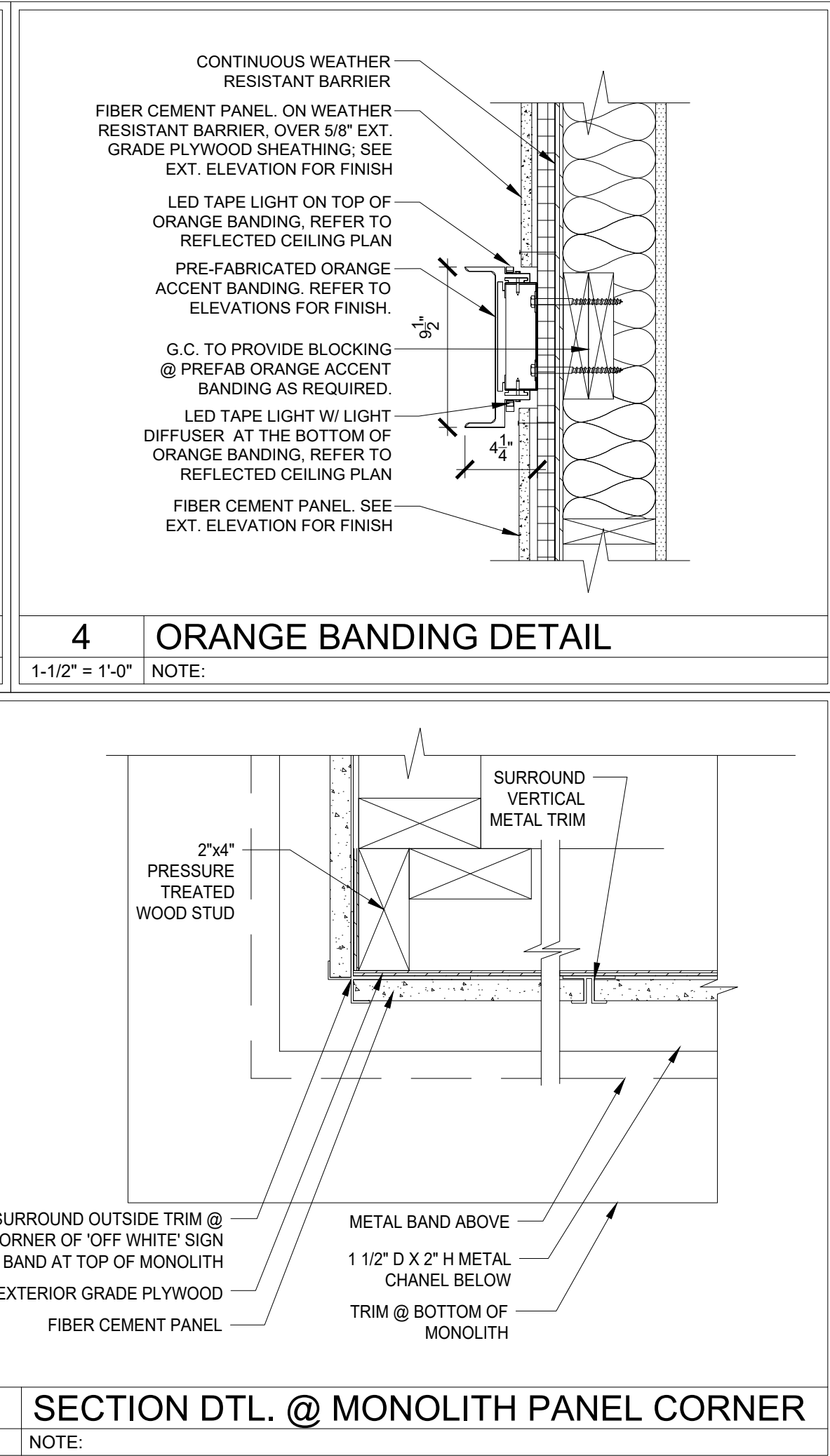
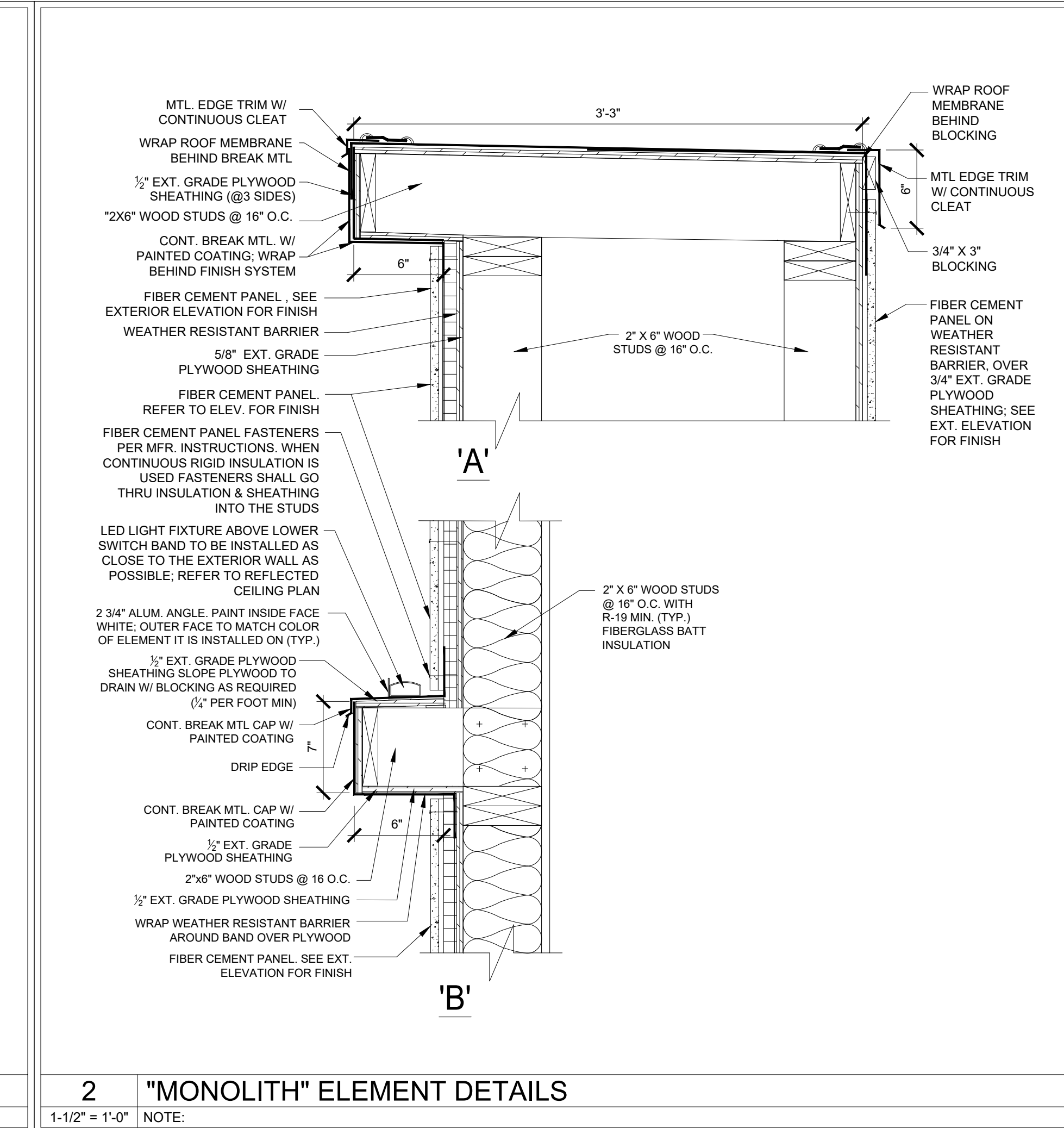
Architectural elevation drawing of a building facade, showing various materials, dimensions, and heights. The drawing includes a gabled roof section on the left and a main wall section on the right. Key features and annotations include:

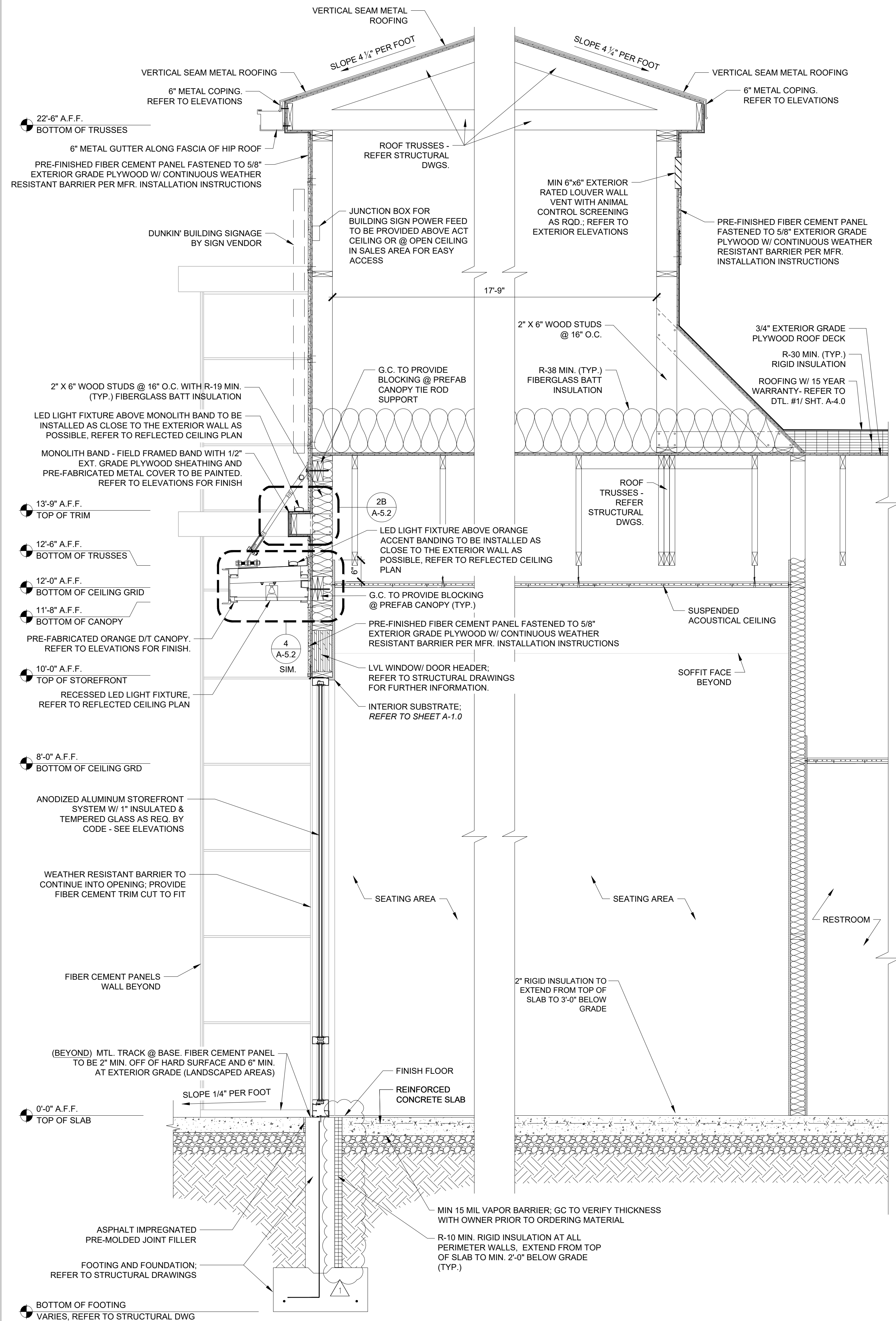
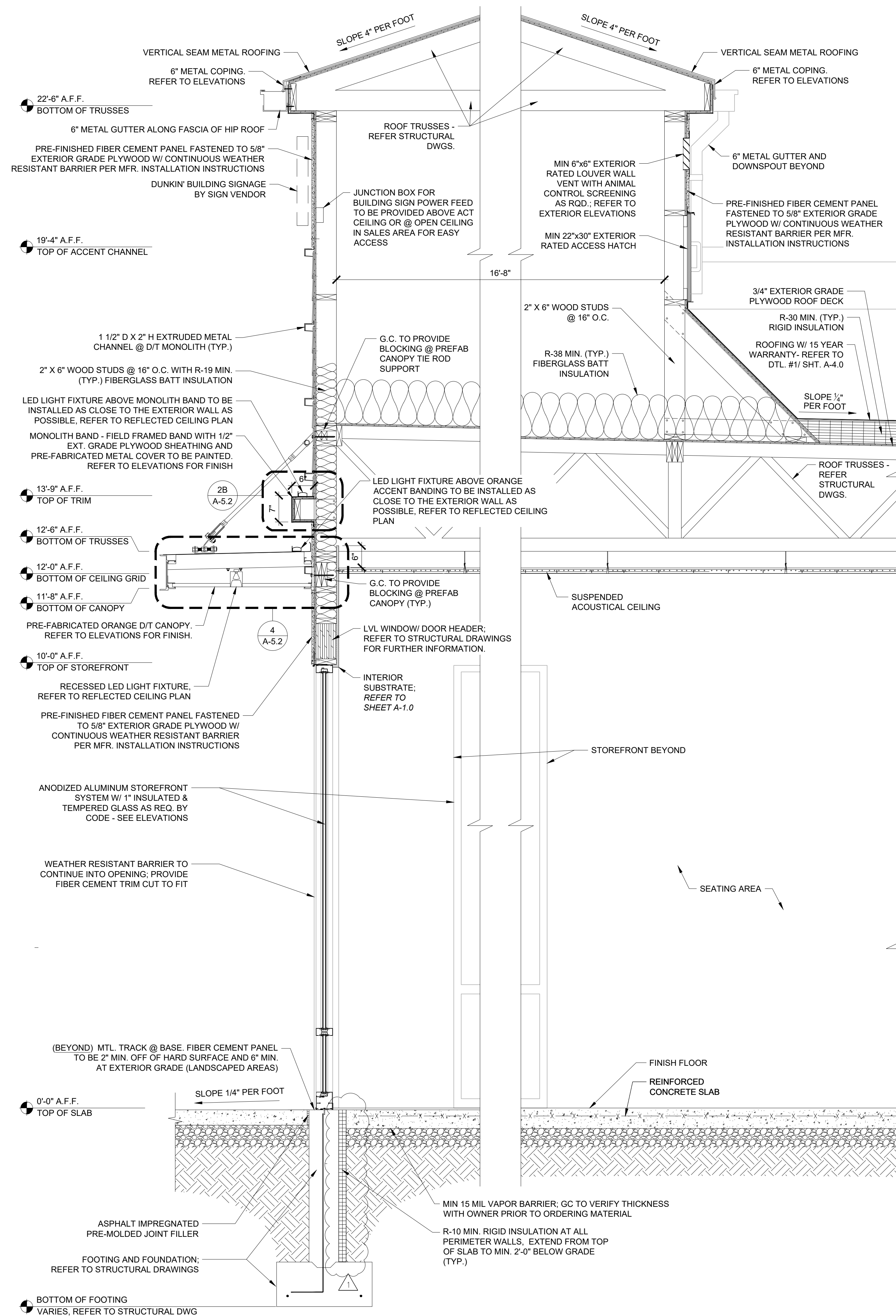
- Roof and Parapet:**
 - MIN 6"x6" EXTERIOR RATED LOUVER WALL VENT WITH ANIMAL CONTROL SCREENING AS ROD. PAINTED TO MATCH ADJACENT SURFACE.
 - 26'-5" A.F.F. TOP OF RIDGE
 - 21'-1" A.F.F. TOP OF MONOLITH
 - 19'-4" A.F.F. TOP OF PARAPET
 - PAINTED 6" METAL COPING (PC-02)
 - METAL FASCIA (PC-02)
 - FIBER CEMENT LAP SIDING (PS-02)
 - FIBER CEMENT PANEL SYSTEM (PS-04 LP)
 - TRIM AT FIBER CEMENT PANELS (TR-10)
- Wall and Window Details:**
 - 13'-9" A.F.F. TOP OF BANDING
 - 10'-8" A.F.F. BOTTOM OF ORANGE ACCENT BANDING/ CANOPIES
 - 10'-0" A.F.F. TOP OF STOREFRONT
 - 3" WIDE HARDI TRIM BOARDS - PAINT TO MATCH ADJACENT PANELS (TYP.)
 - FACE THIN BRICK VENEER (BR-02)
 - 3'-6" A.F.F. TOP OF SILL
 - 0'-0" A.F.F. TOP OF SLAB
 - PC-04 PAINTED 6" METAL COPING
 - 1/2" VERTICAL MTL. REVEAL
 - FIBER CEMENT LAP SIDING (PS-02)
 - METAL BAND (PC-02)
 - STOREFRONT CLEAR ANODIZED ALUMINUM
 - KNOXBOX: MODEL NUMBER: 4000 SERIES; SURFACE MOUNT INSTALLATION HEIGHT: MIN 5'-6" AFF : MAX 7'-0" AFF
 - LED WALL PACK LIGHT FIXTURE (TYP.) G
 - 3" WIDE HARDI TRIM BOARDS - MATCH ADJACENT PANELS (TYP.)
- Trim and Finishes:**
 - VERTICAL TRIM @ FIBER CEMENT PANELS (TYP.) (TR-08)
 - VERTICAL SEAM METAL ROOFING; FINISH TO MATCH PC-02
 - ALUM. GUTTER ON ALUM. WRAPPED FASCIA: PAINTED TO MATCH APPLIED SURFACE (TYP.)
 - PAINT LADDER TO MATCH APPLIED SURFACE (TYP.)
 - PAINTED 6" METAL COPING (PC-02)
 - 3'-0"
 - 13'-0"
 - ROOF LINE BEYOND
 - 3'-6"
 - 8'-10"
 - EXTERIOR FROST PROOF HOSE BIBB
 - PAINT DOOR AND FRAME (PC-02)
 - LAP SIDING BASE TRIM (TR-05)
 - CLIPSTONE SILL: GREY COLOR
 - FACE THIN BRICK VENEER (BR-02)
 - VERTICAL & HORIZ. TRIM FOR FIBER CEMENT PANELS @ OPENINGS & MATERIAL TRANSITIONS (TYP.) (TR-11)
- Other Annotations:**
 - 3
 - A-7.1

1/4" = 1'-0"	NOTE:
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1/2" = 1'-0"	NOTE
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REVISION	DESCRIPTION	ISSUE DATES	DRAWN	EV
1	BUILDING REVIEW/REVISIONS #1	10/29/24	CHECKED	MV
			DATE	01-12-24
			PROJECT NO	23110

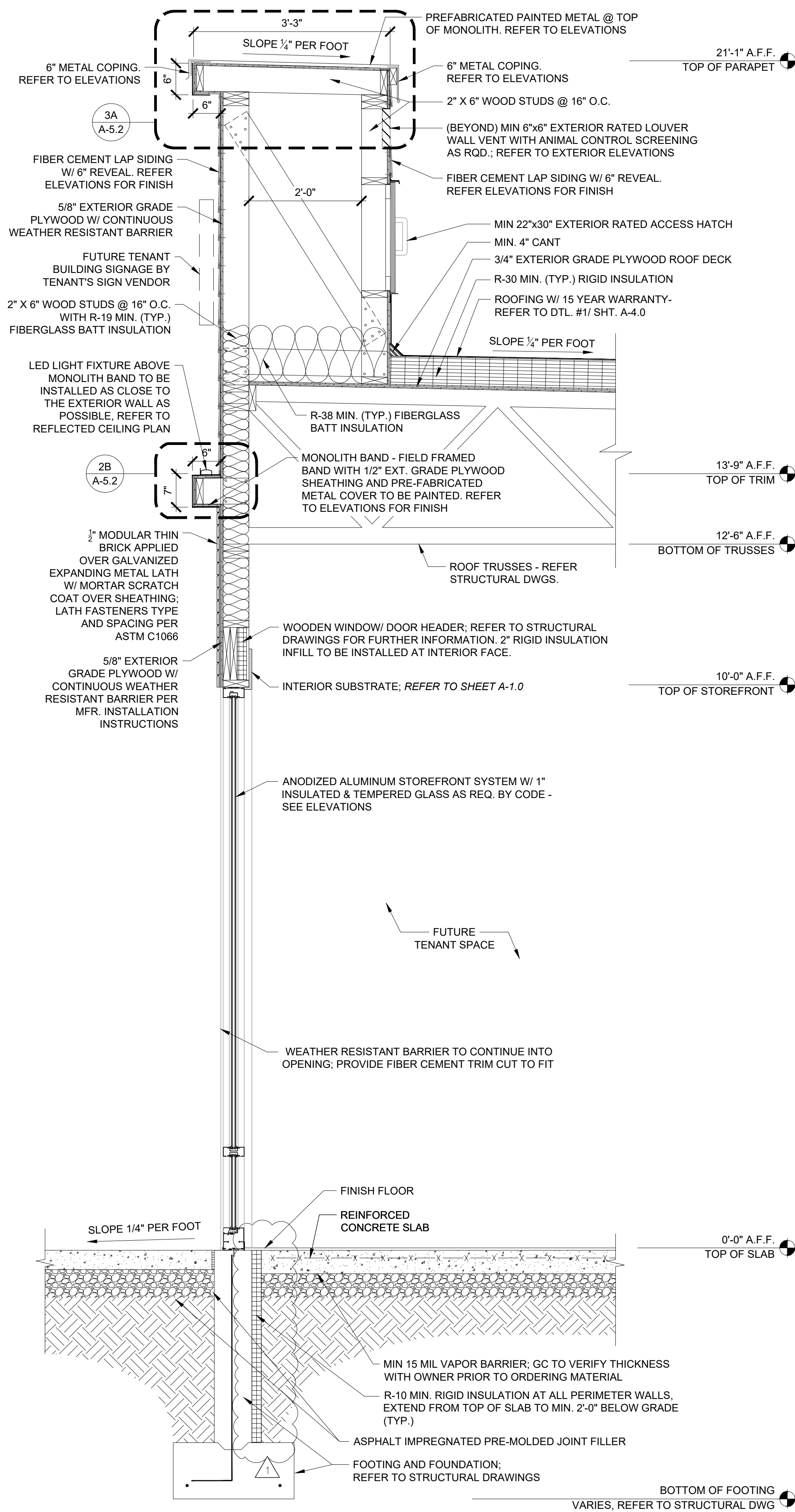
WALL SECTIONS

DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046

PC # 364919

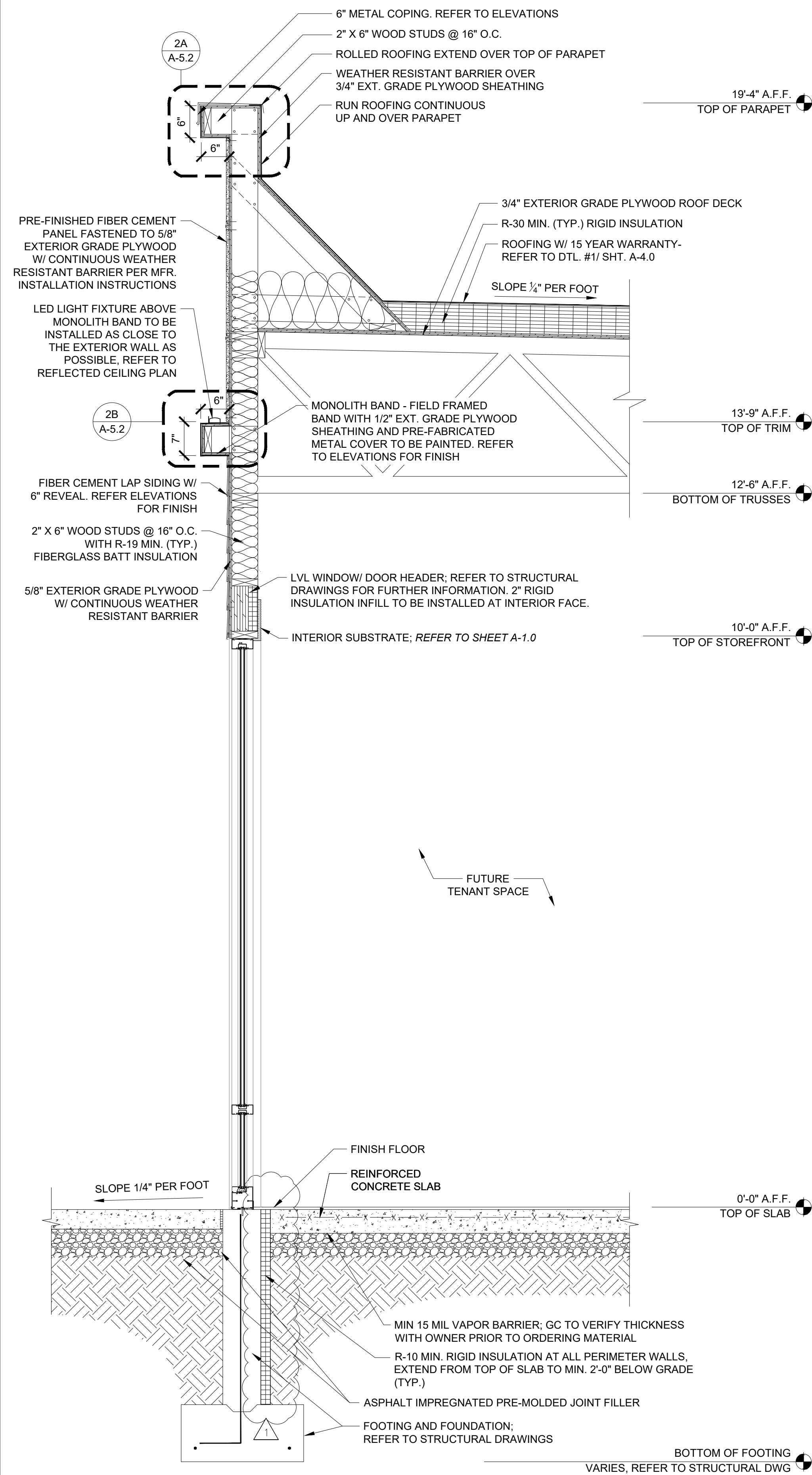
SHEET

A-7.0



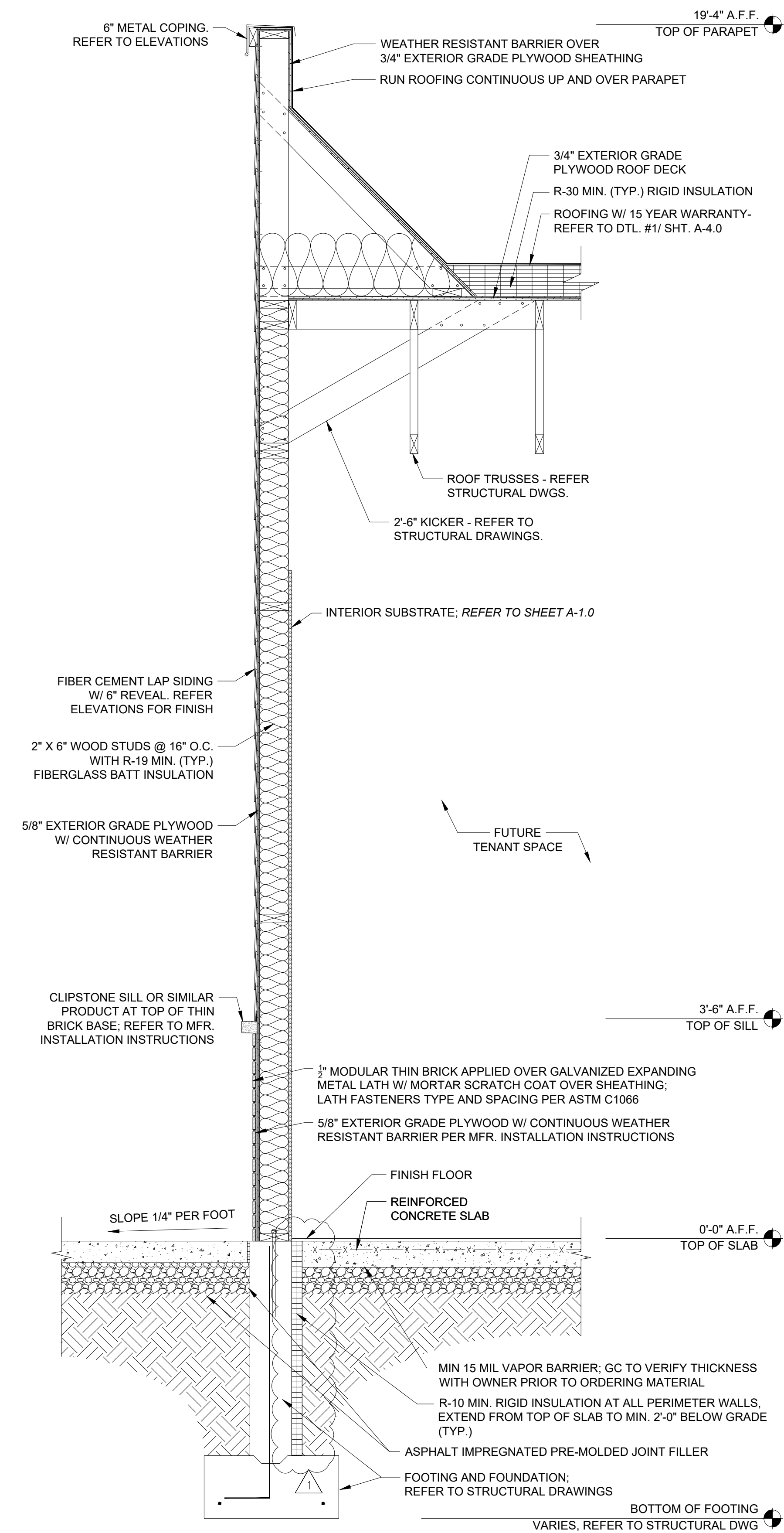
1	WALL SECTION @ TENANT SPACE MONOLITH
---	--------------------------------------

3/4" = 1'-0"	NOTE:
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2	WALL SECTION @ TENANT SPACE STOREFRONT
---	--

3/4" = 1'-0"	NOTE
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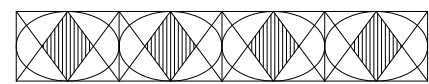
3	WALL SECTION @ SIDE/ BACK OF HOUSE
---	------------------------------------

3/4" = 1'-0"	NOTE
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REVISION	DESCRIPTION	ISSUE DATES	DRAWN	EV
1	BUILDING REVIEW REVISIONS #1	10/25/24	CHECKED	MV
2			DATE	01-12-24
3			PROJECT NO	23110
4				
5				
6				
7				

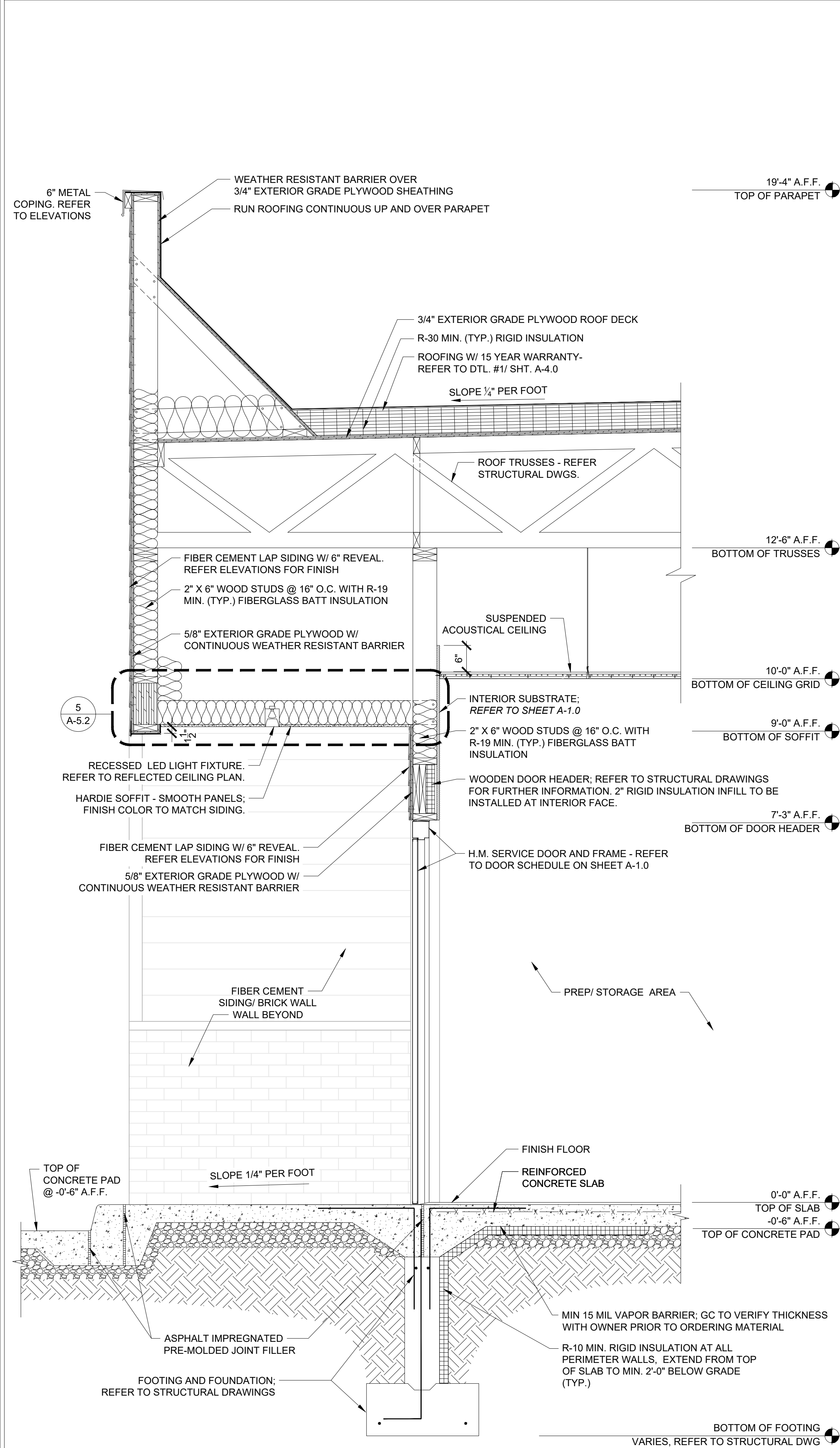
WALL SECTIONS

DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046

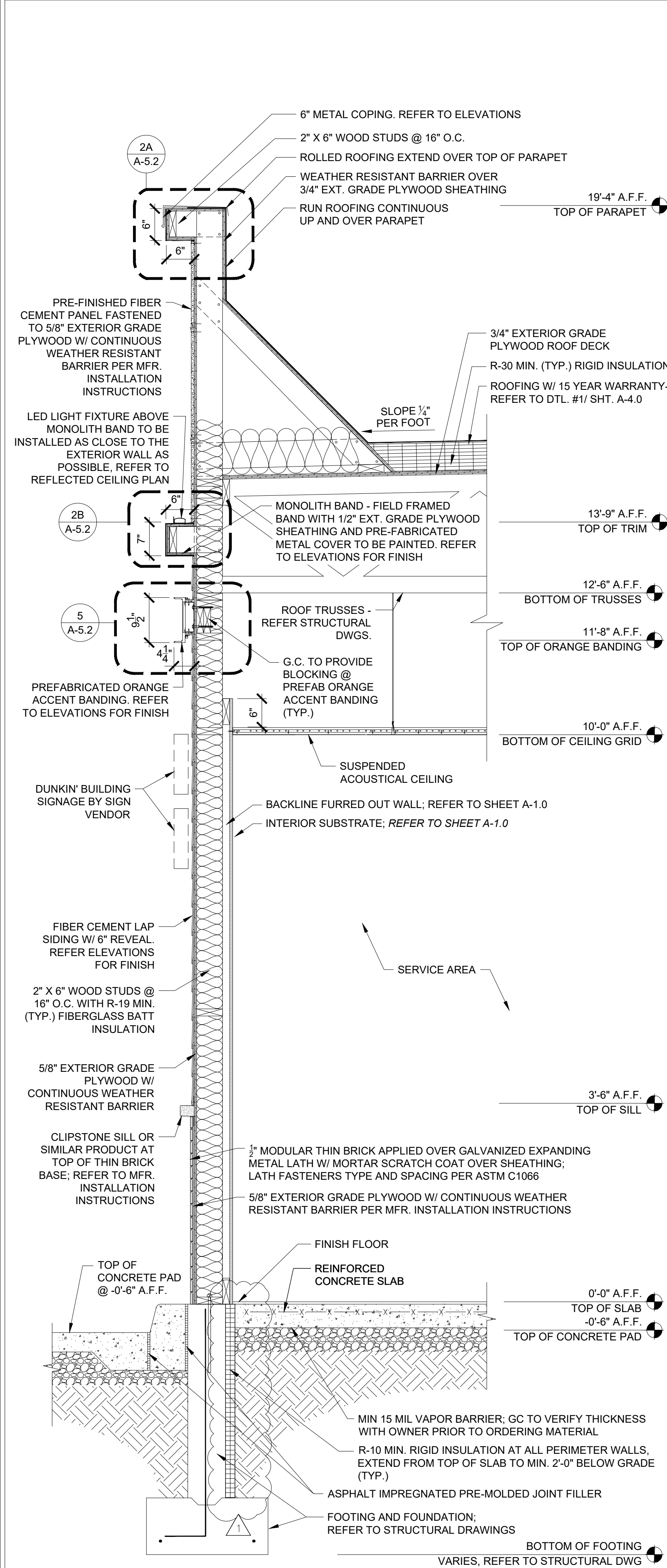
PC # 364919

SHEET

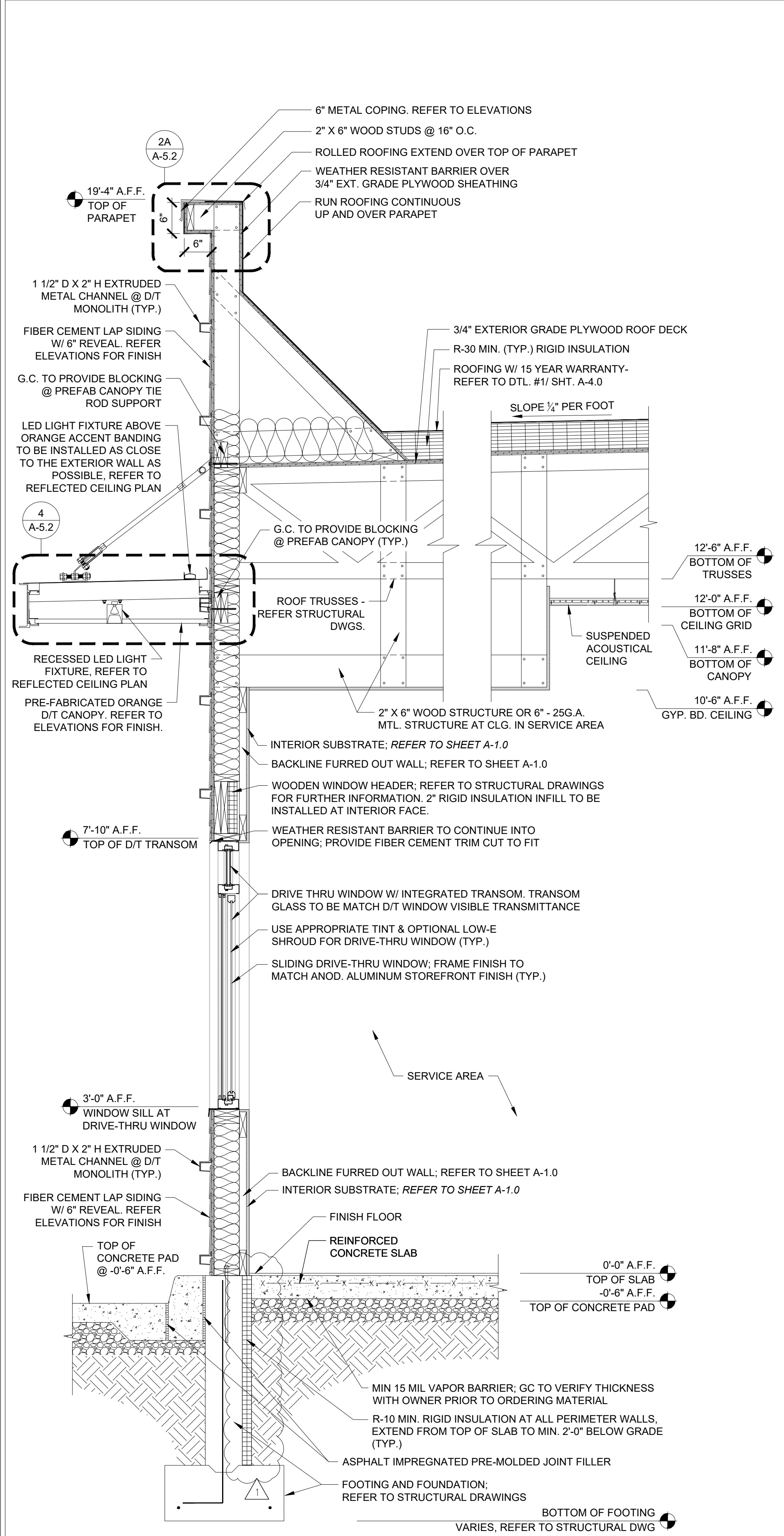
A-7.1



1 WALL SECTION @ DUNKIN' SERVICE DOOR ALCOVE



2 WALL SECTION @ LROD SIGNAGE



3 WALL SECTION @ DRIVE-THRU WINDOW

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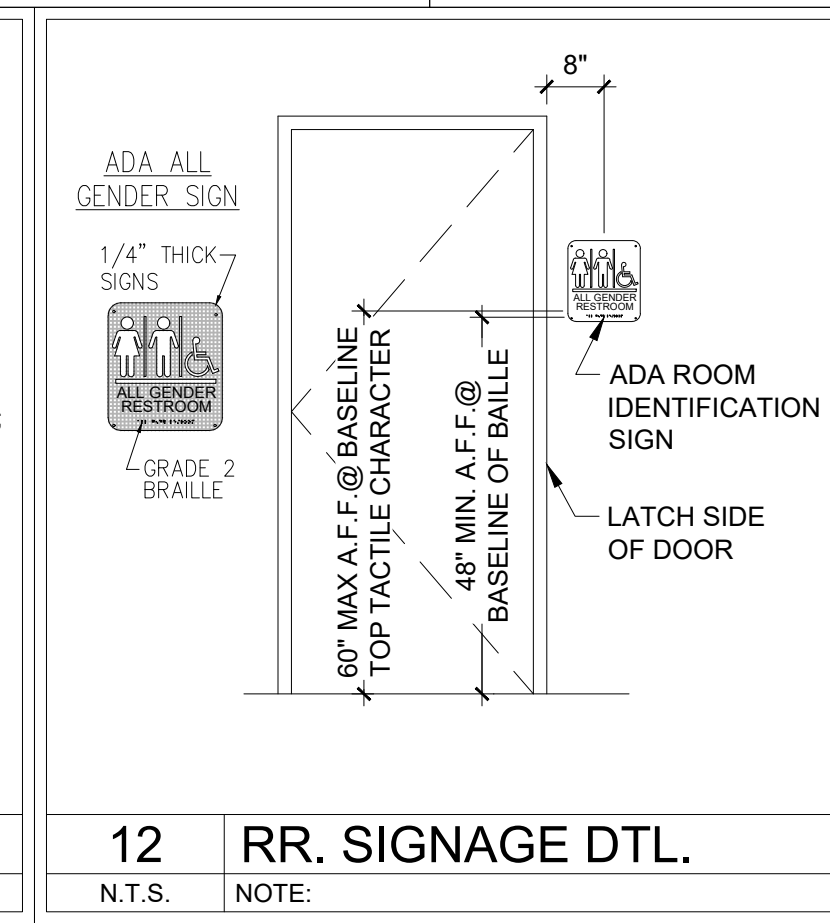
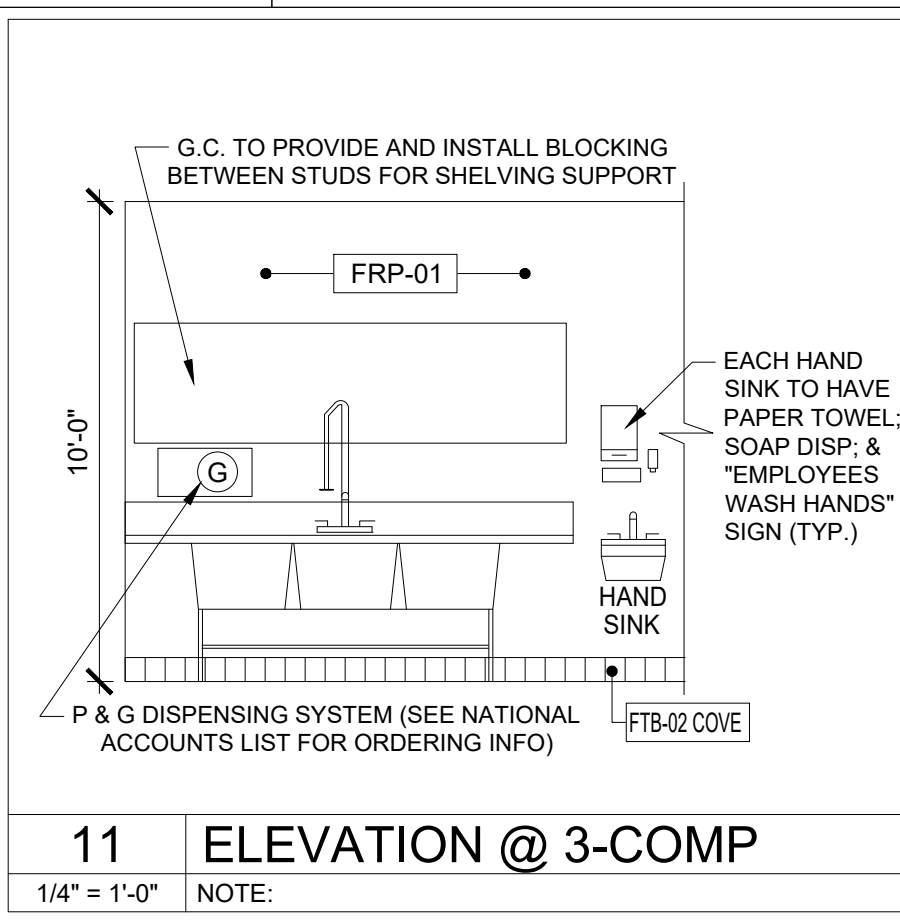
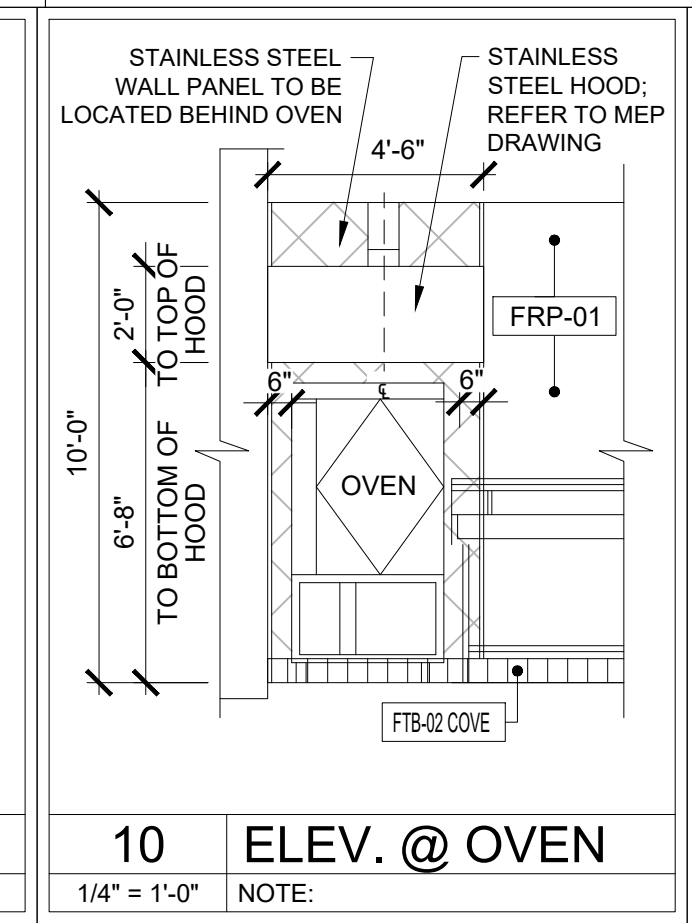
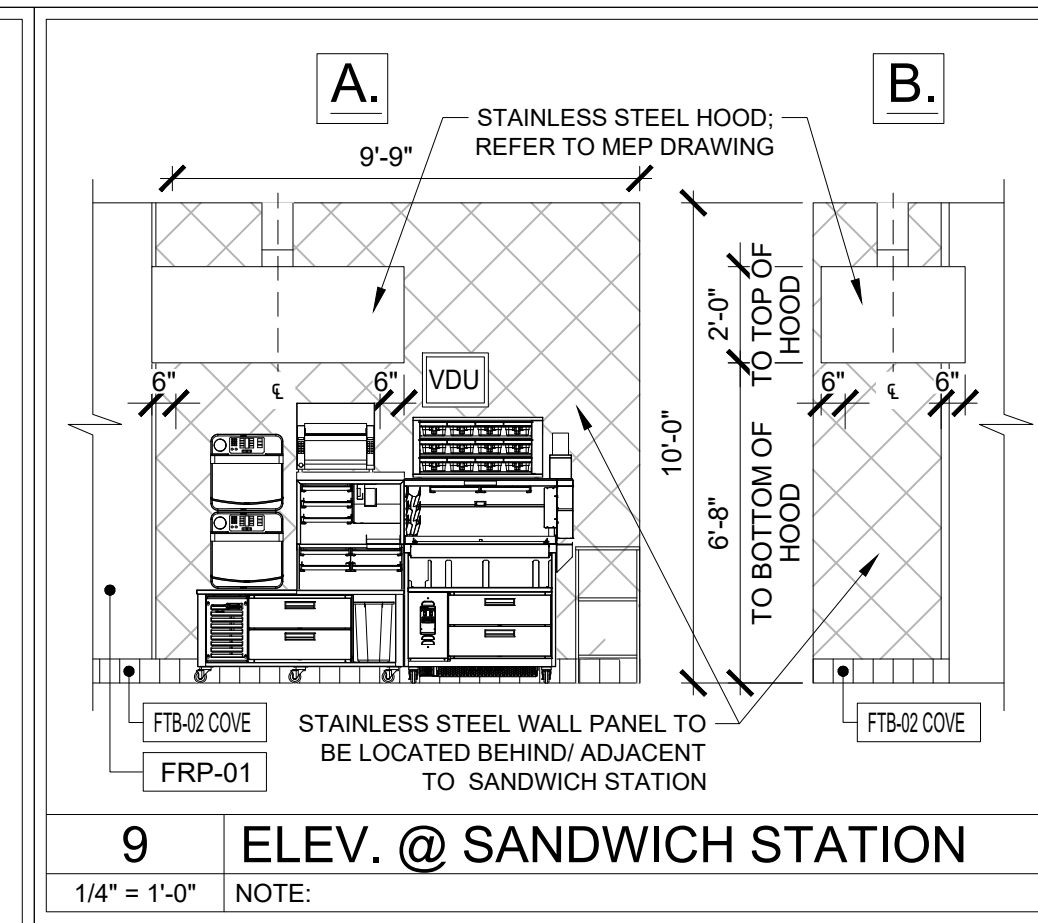
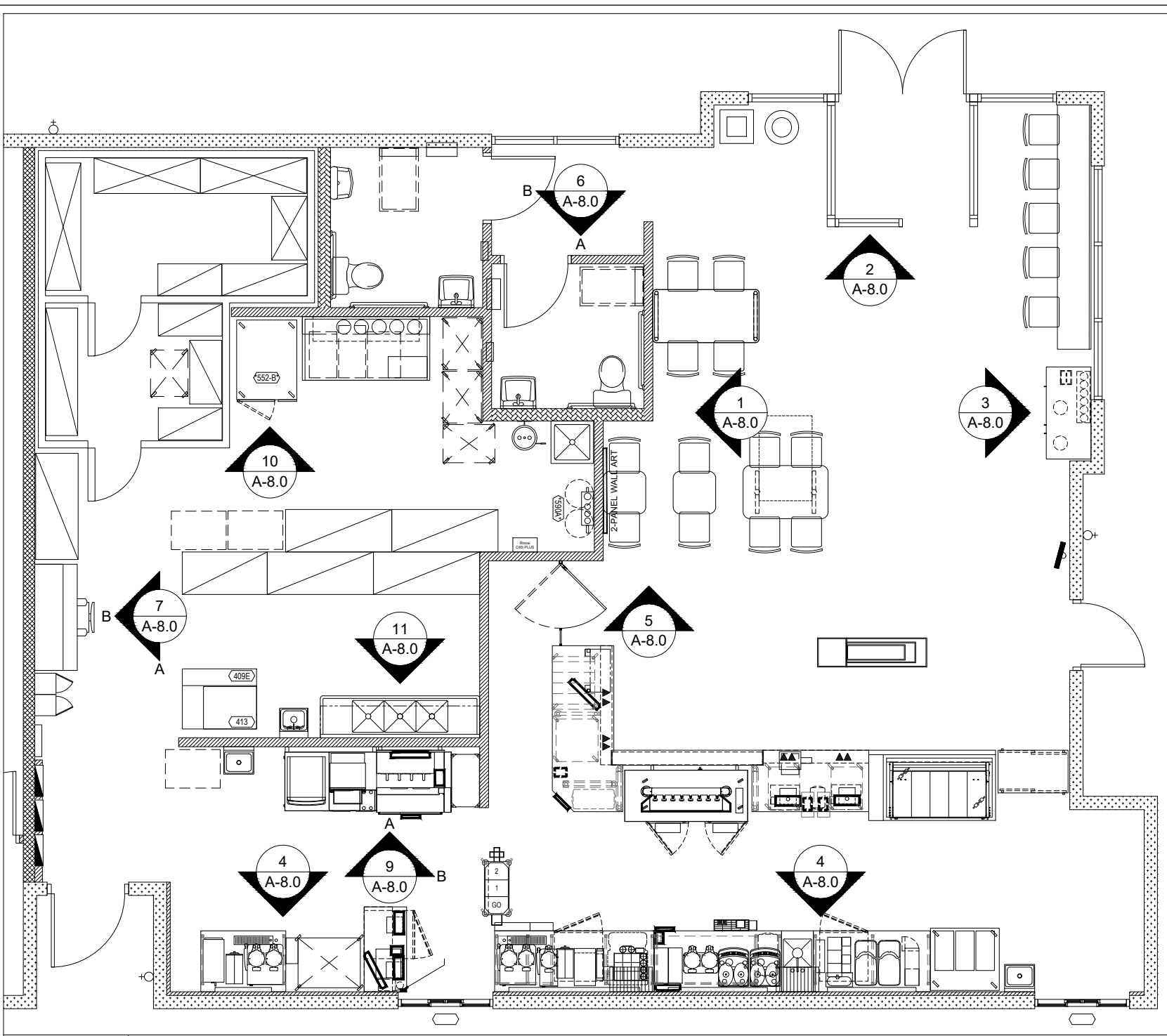
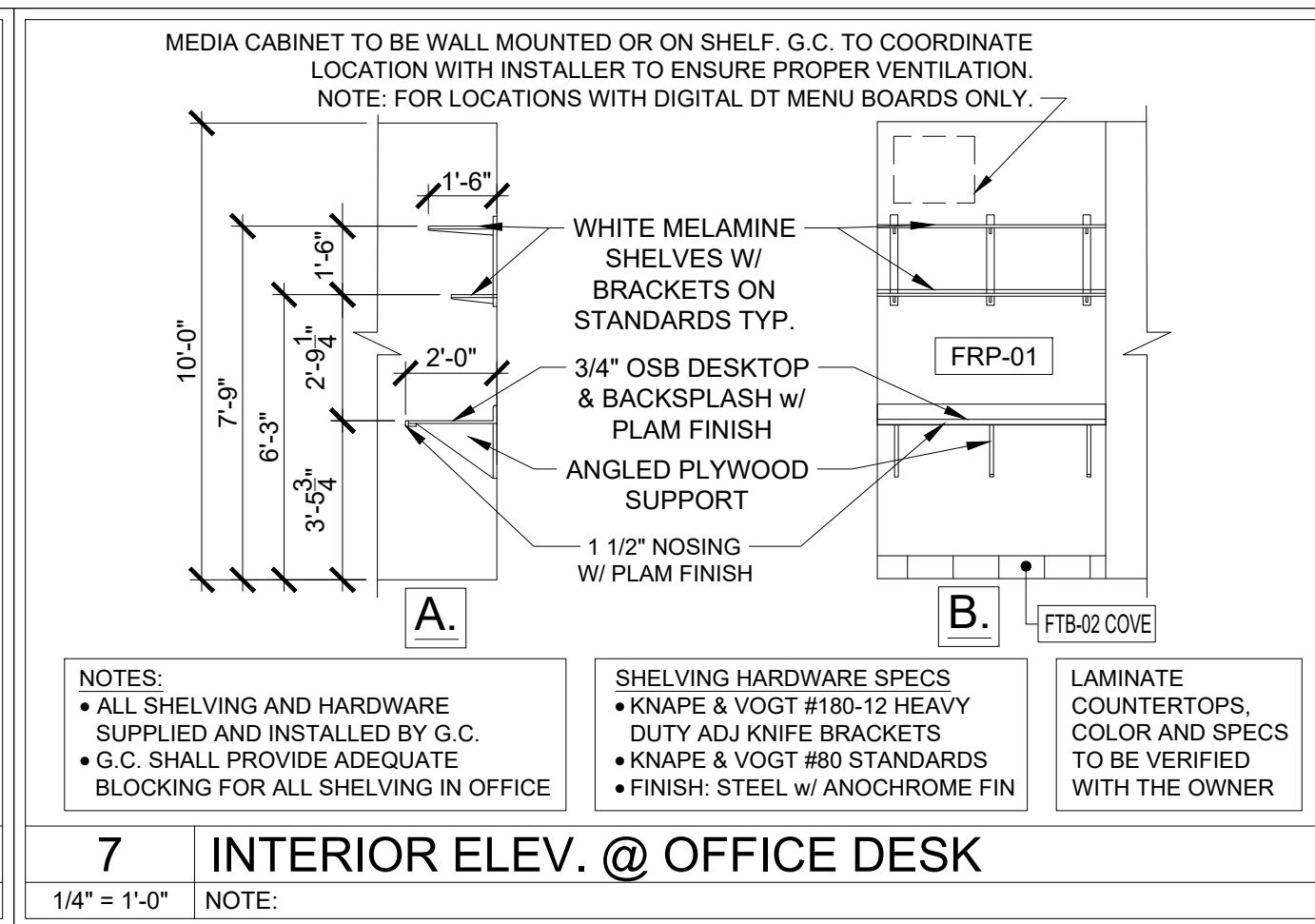
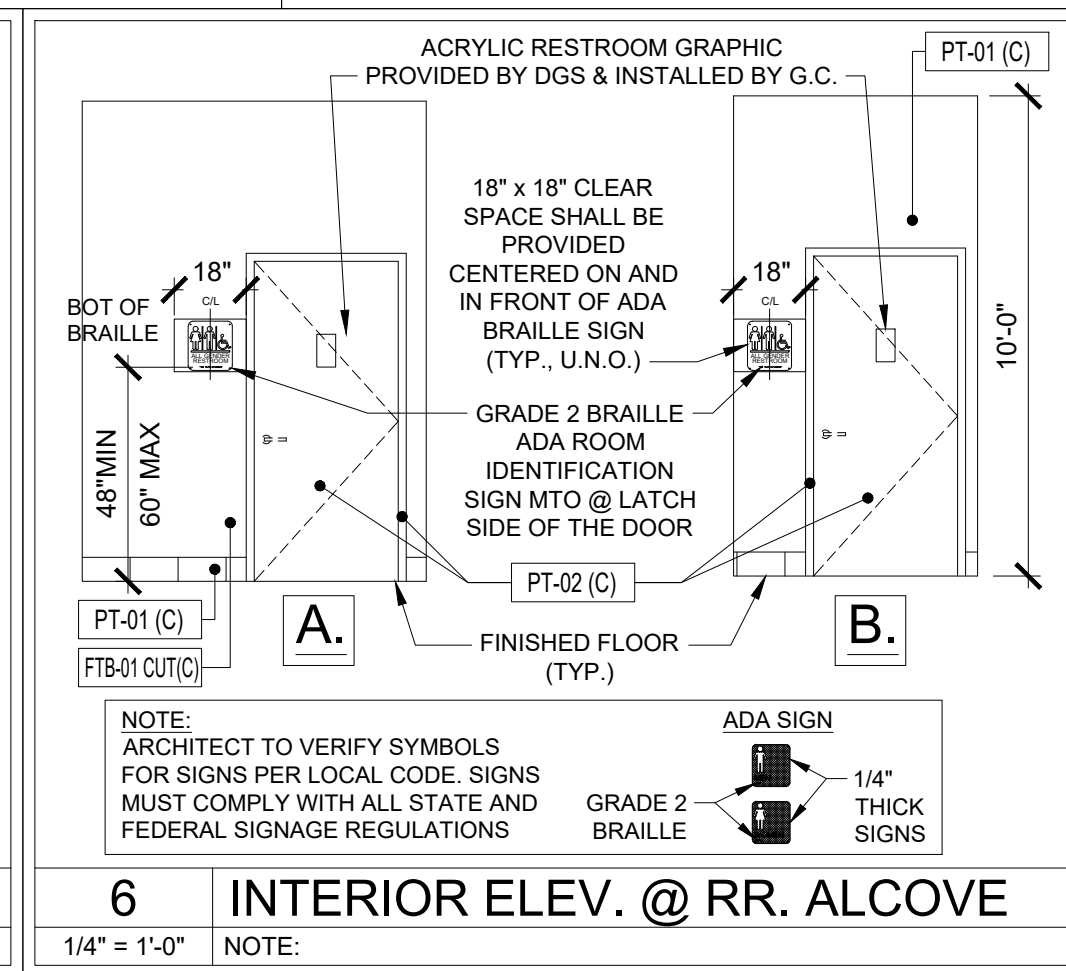
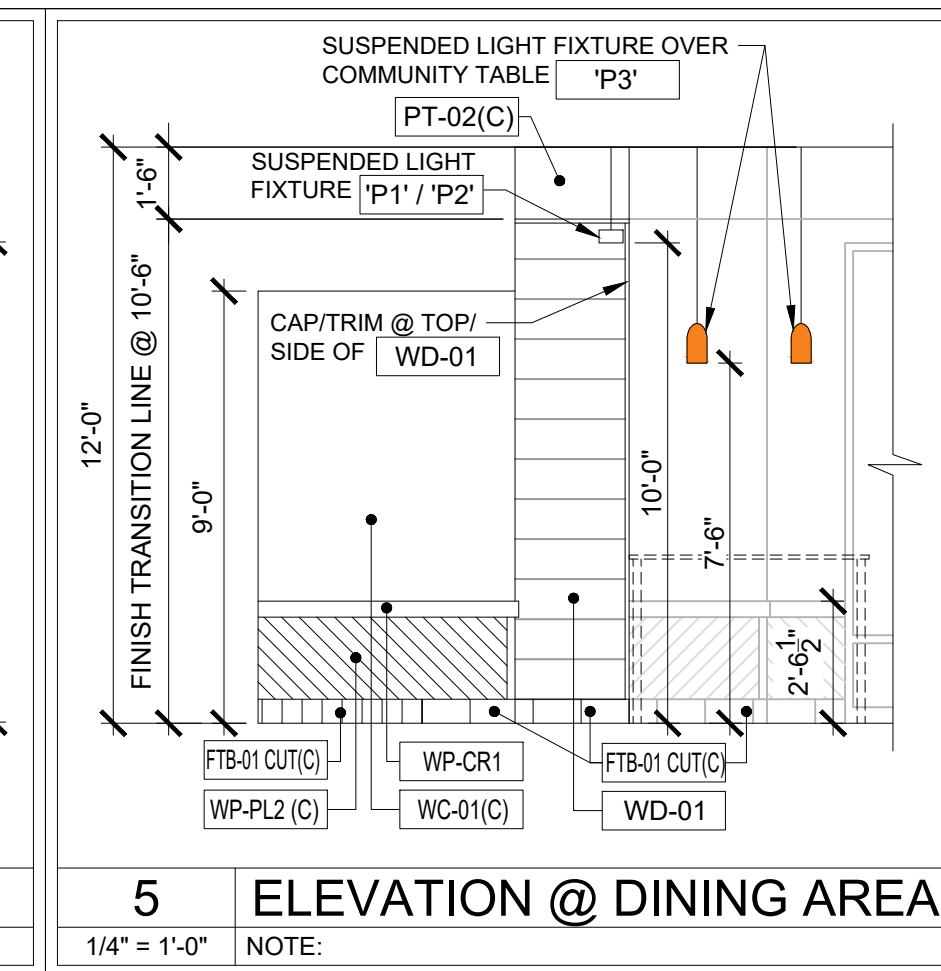
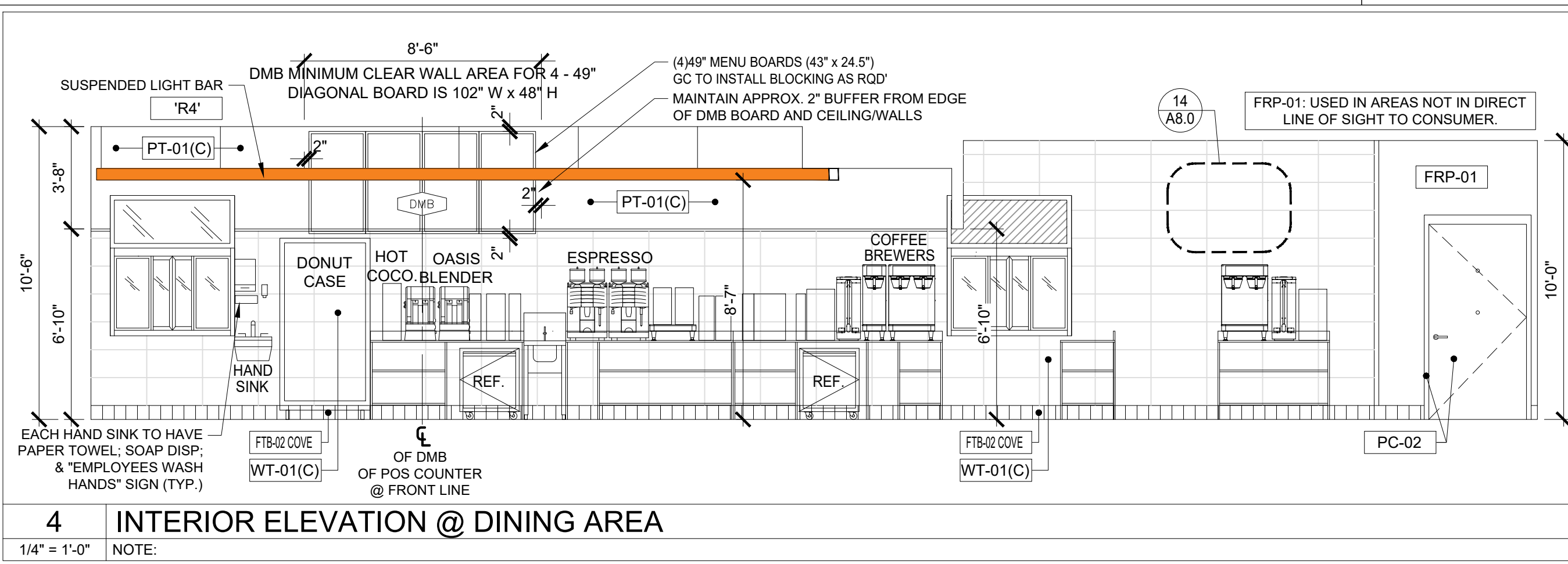
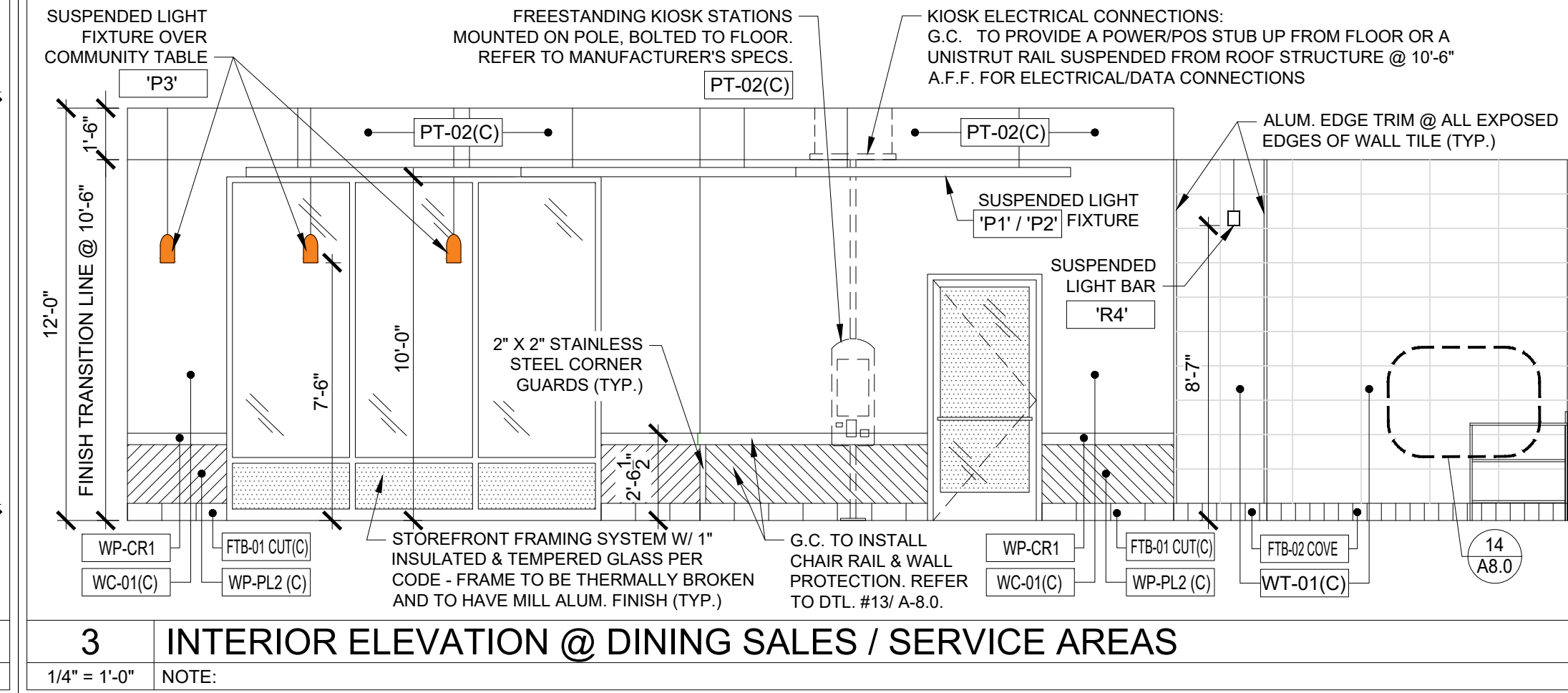
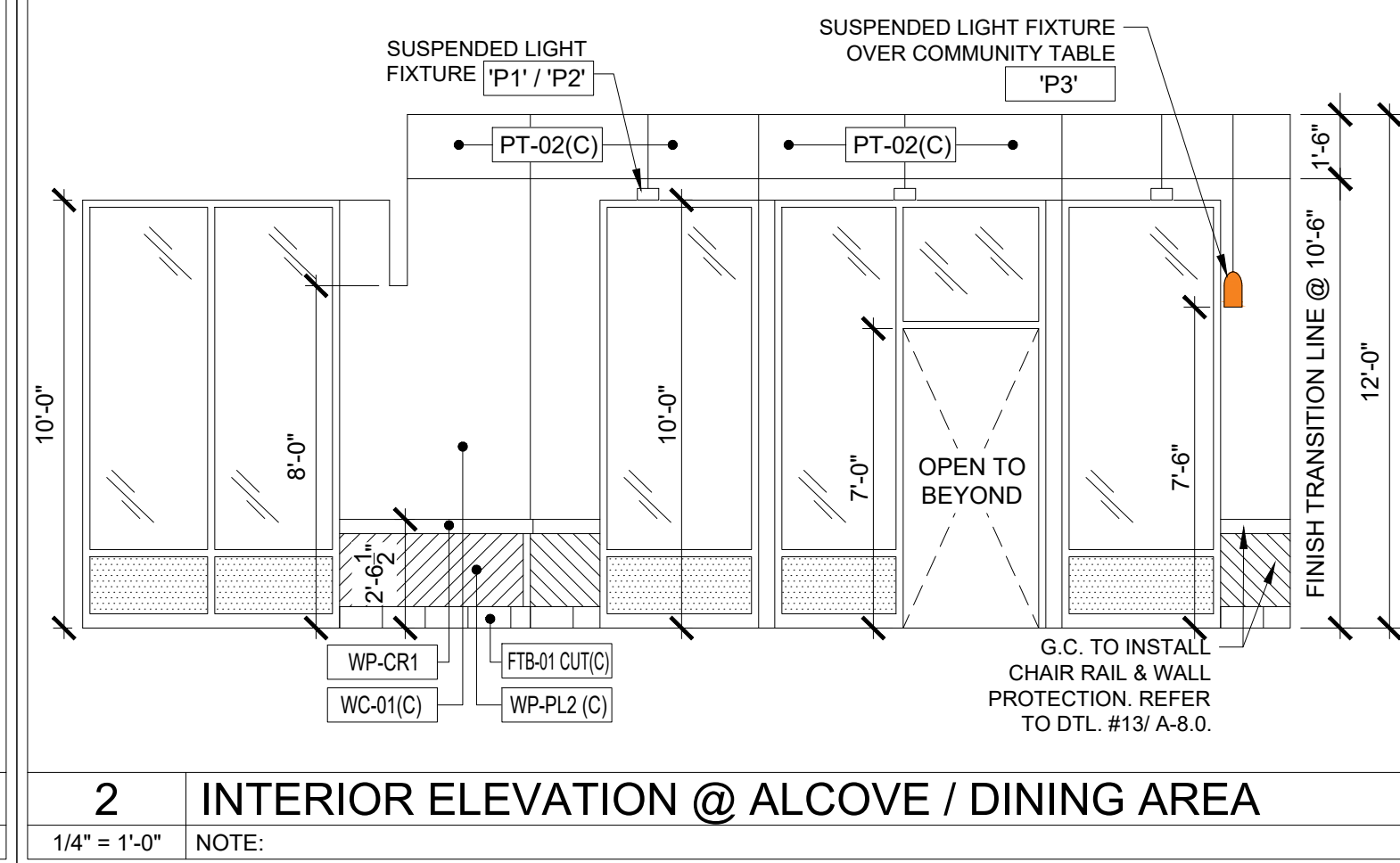
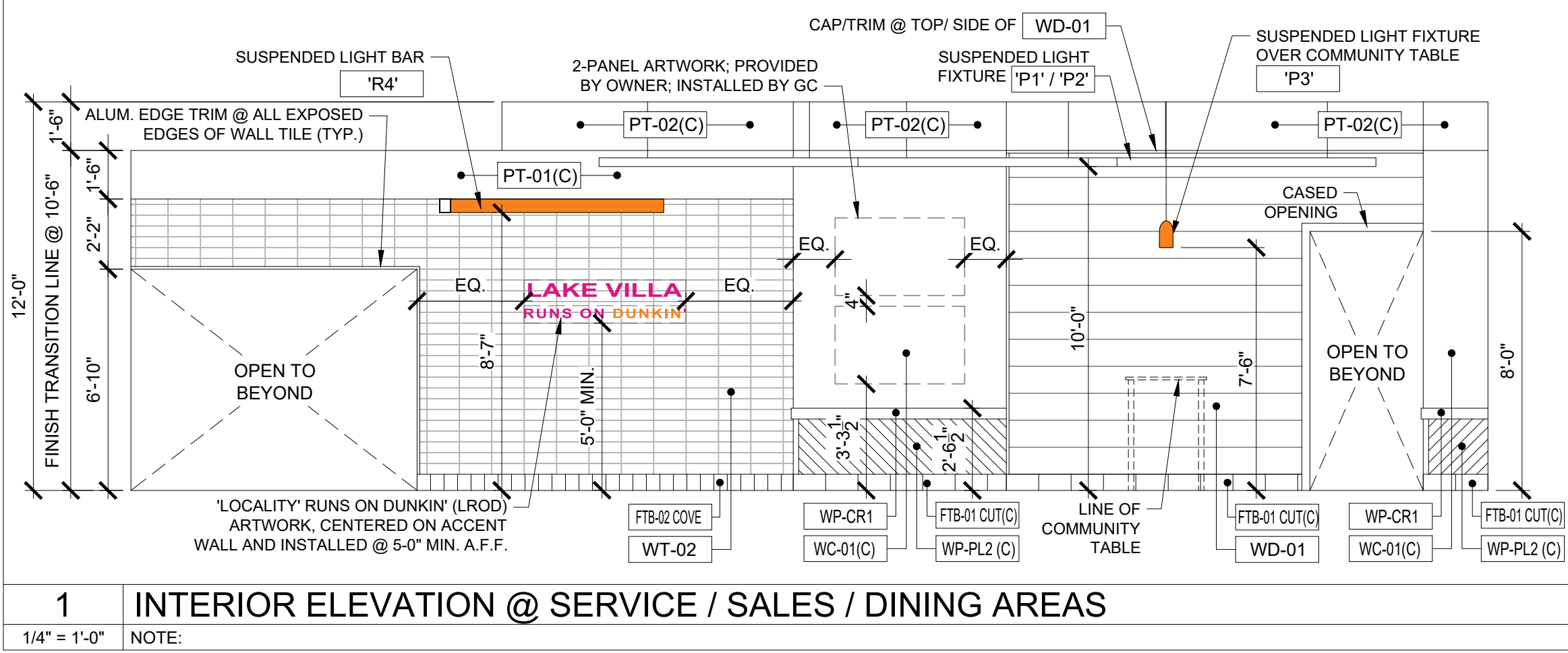
EV	MV	01-12-24	23110
DRAWN	CHECKED	DATE	PROJECT No
10-29-24			
REVISION	DESCRIPTION	ISSUE DATES	
1	BUILDING REVIEW	10-29-24	

WALL SECTIONS

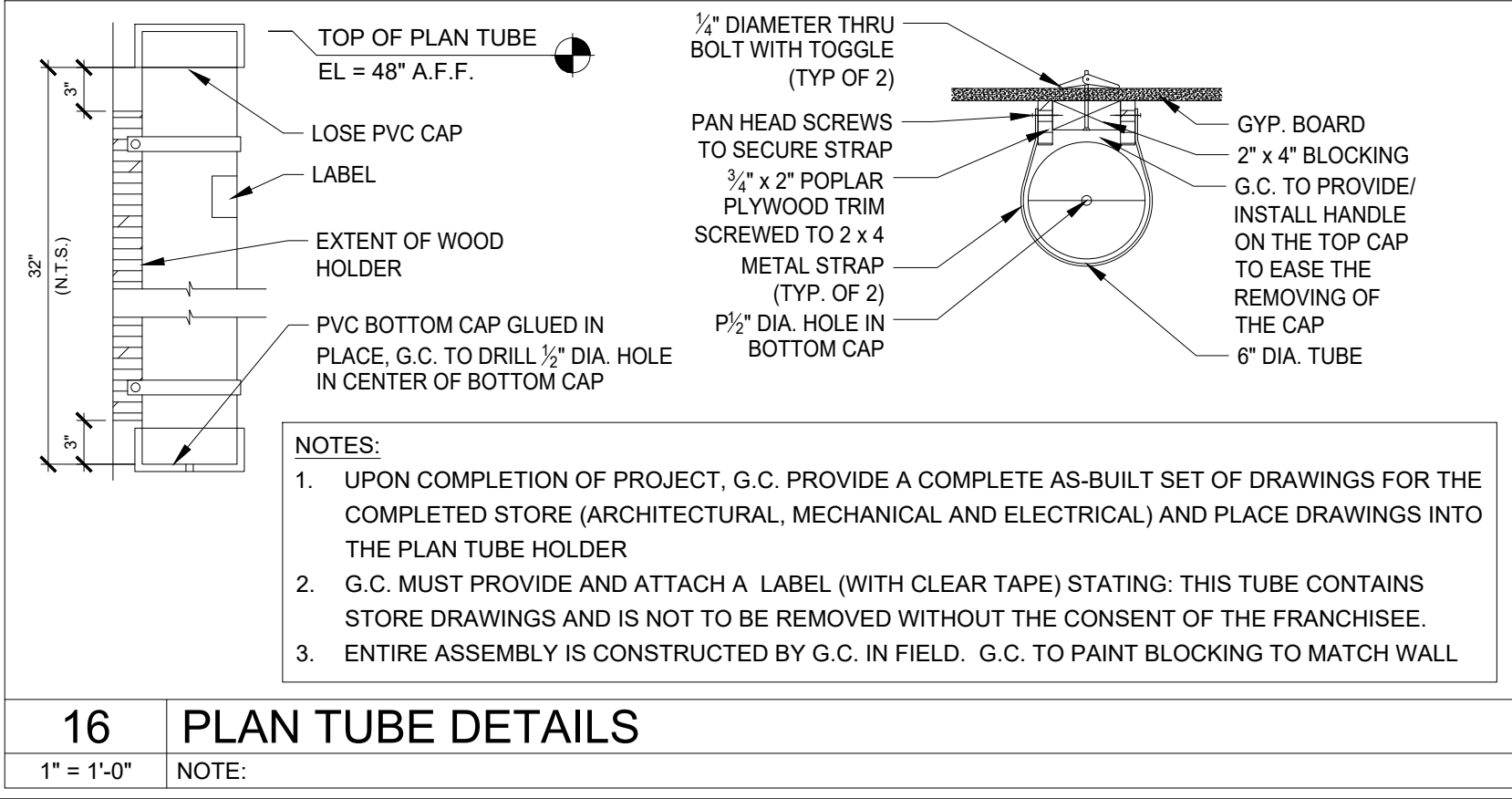
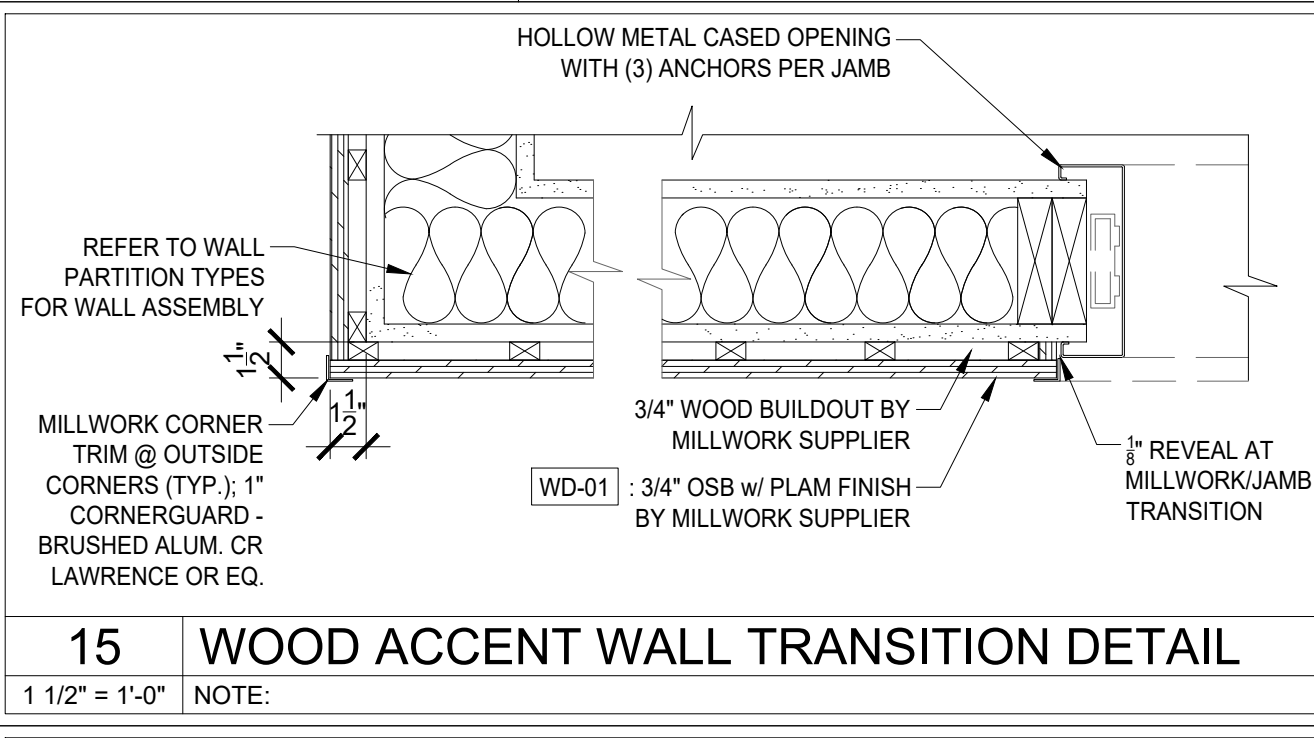
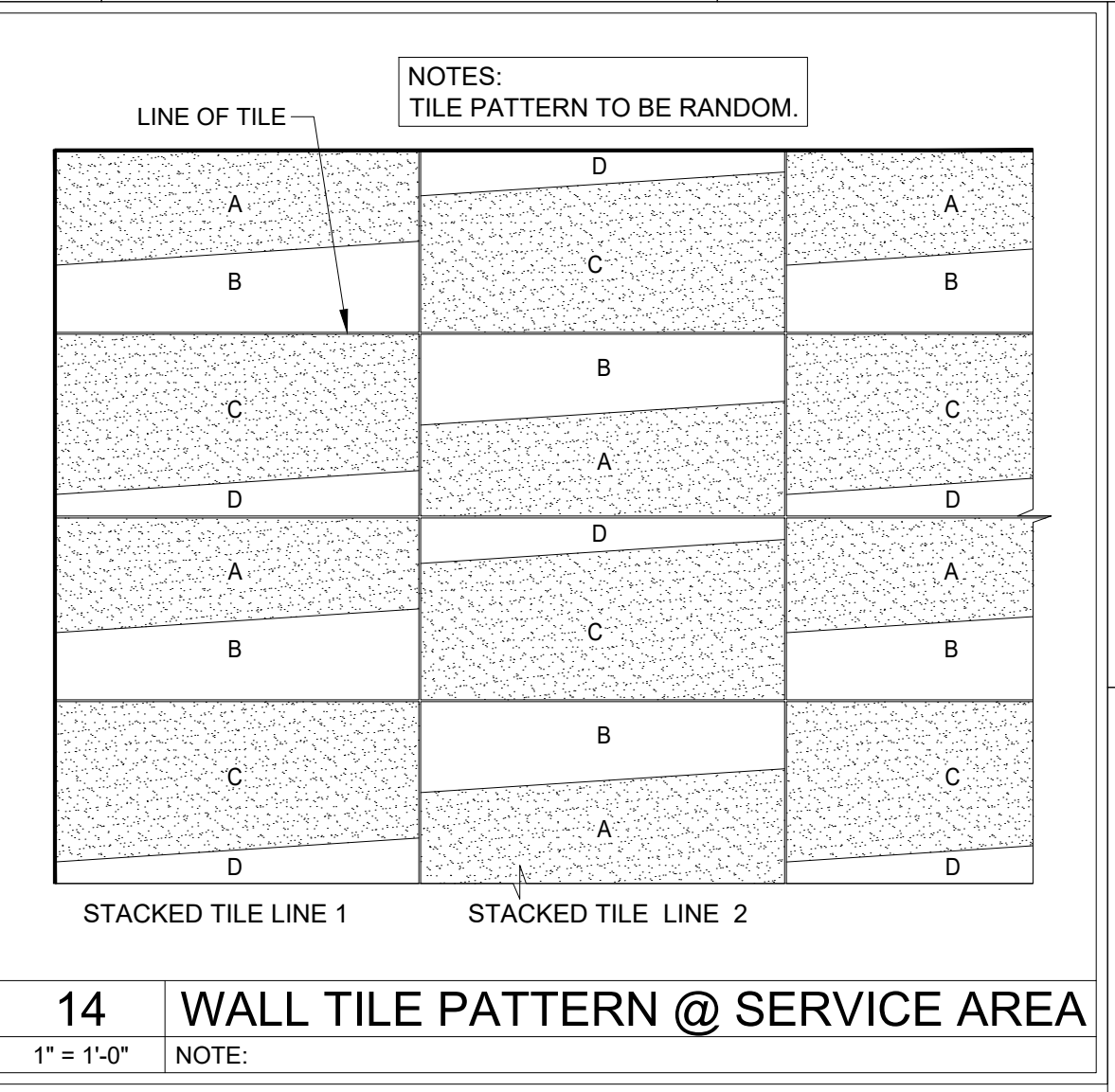
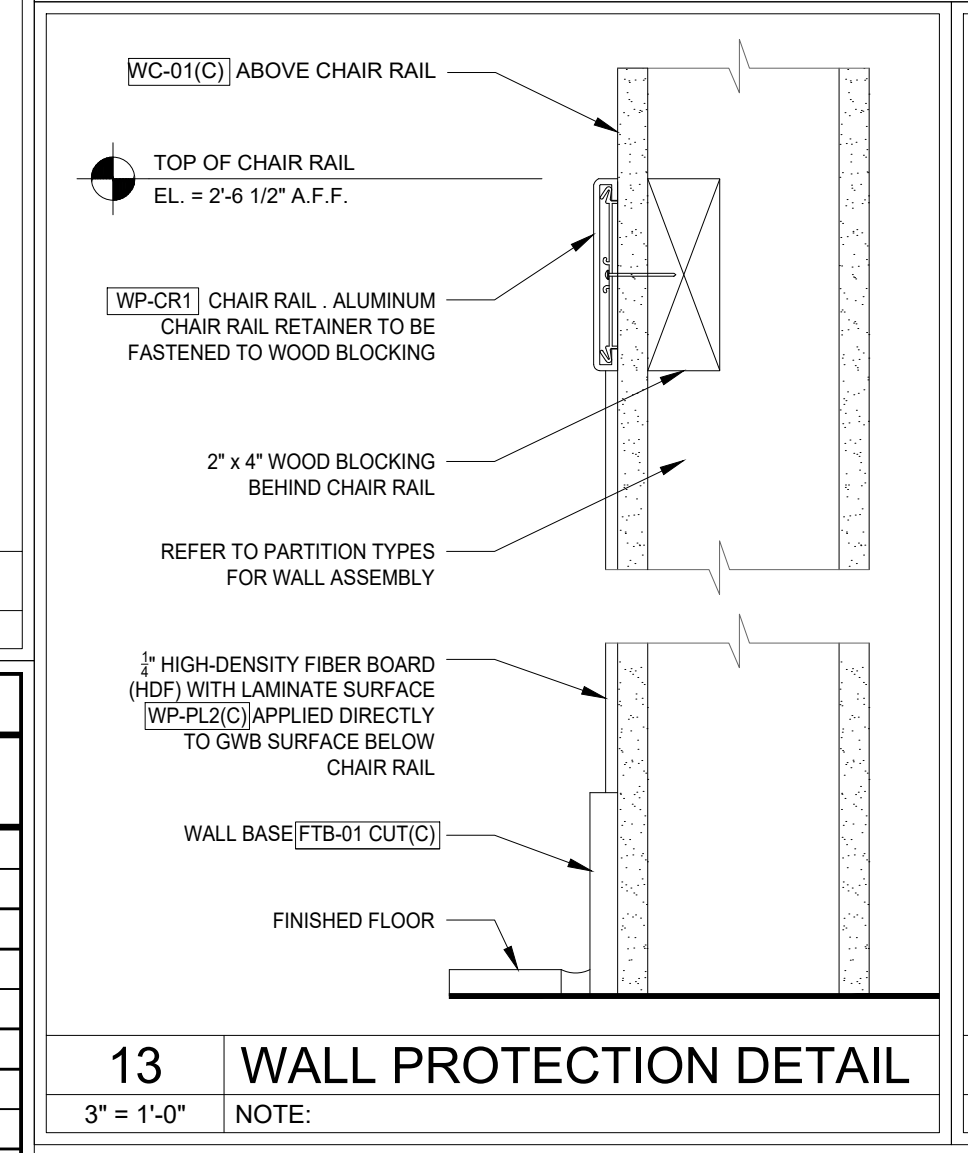
DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046
PC # 364919

SHEET

A-7.2



ROOM FINISH SCHEDULE (COOL PALETTE)						
NO.	ROOM NAME	FLOOR CODE	BASE CODE	WALL CODE	CEILING CODE	NOTES
100	VESTIBULE	FT-01 (C)	NOTE #1	NOTE #1	PT-02(C)	1,2,4
101	SEATING AREA	FT-01 (C)	NOTE #1	NOTE #1	CT-02	1,3,4
102	SALES AREA	FT-01 (C)	NOTE #1	NOTE #1	CT-02	1,2,3,4
103	SERVICE AREA	FT-02	NOTE #1	NOTE #1	PT-03(C)	1,3,4
104	PREP./STORAGE AREA	FT-02	NOTE #1	FRP-01	CT-03	1,2,3,4
105	PREP./STORAGE AREA	FT-02	NOTE #1	FRP-01	CT-03	1,3,4
106	ALCOVE	FT-02	NOTE #1	FRP-01	CT-03	1,2,3,4
107	ALL GENDER RESTROOM	FT-01 (C)	NOTE #1	NOTE #1	PT-03(C)	1,2,4
108	ALL GENDER RESTROOM	FT-01 (C)	NOTE #1	NOTE #1	PT-03(C)	1,2,4
200	FUTURE TENANT SPACE	NOTE #5, #6	NOTE #6	NOTE #6	NOTE #6	5,6
201	FUTURE RESTROOM	NOTE #5, #6	NOTE #6	NOTE #6	NOTE #6	5,6
NOTES						
1. REFER TO INTERIOR ELEVATIONS FOR PROPER WALL FINISHES IN DESIGNATED AREA						
2. SEE INTERIOR ELEVATIONS FOR DOOR FINISHES						
3. PROVIDE ALUMINUM CORNER GUARDS AT ALL OUTSIDE CORNERS OF WALLS. SEE FLOOR PLAN FOR LOCATIONS						
4. G.C. TO VERIFY ALL FINISHES WITH DBI CM PRIOR TO ORDERING MATERIALS.						
5. CONCRETE SLAB WITH TOWEL FINISH.						
6. TENANT TO PROVIDE AND INSTALL INTERIOR FINISHES DURING THEIR BUILD-OUT.						



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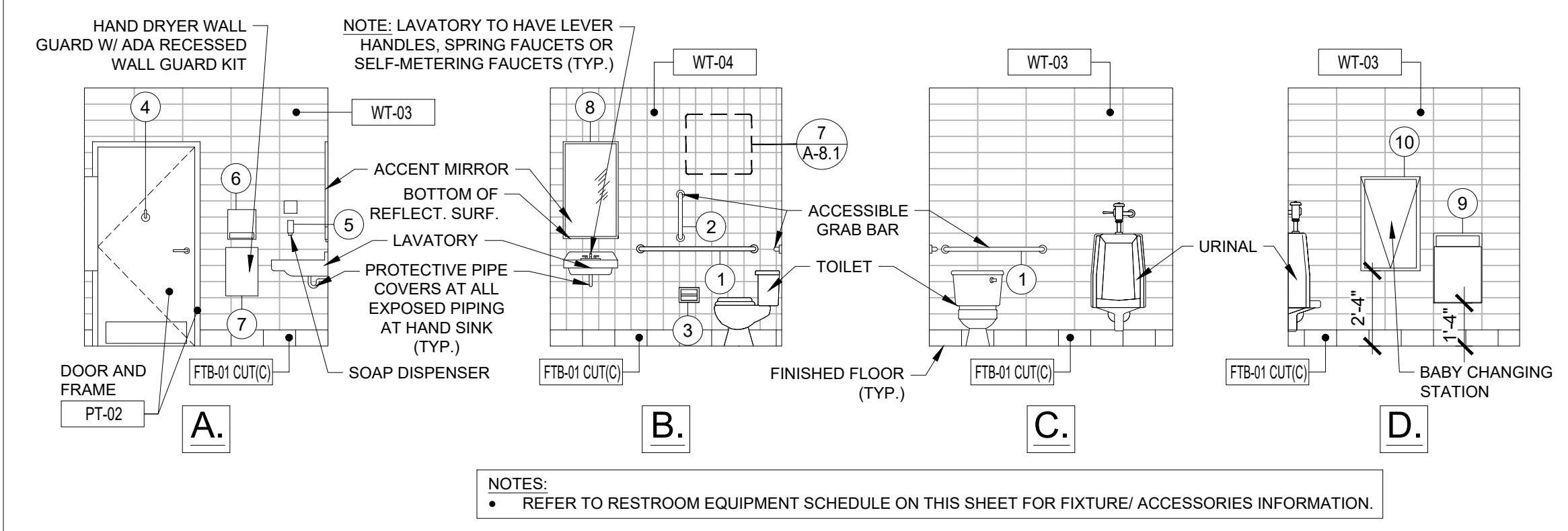
5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008

INTERIOR ELEVATIONS, KEY PLAN, ROOM FINISH SCHEDULE, DETAILS, & NOTES

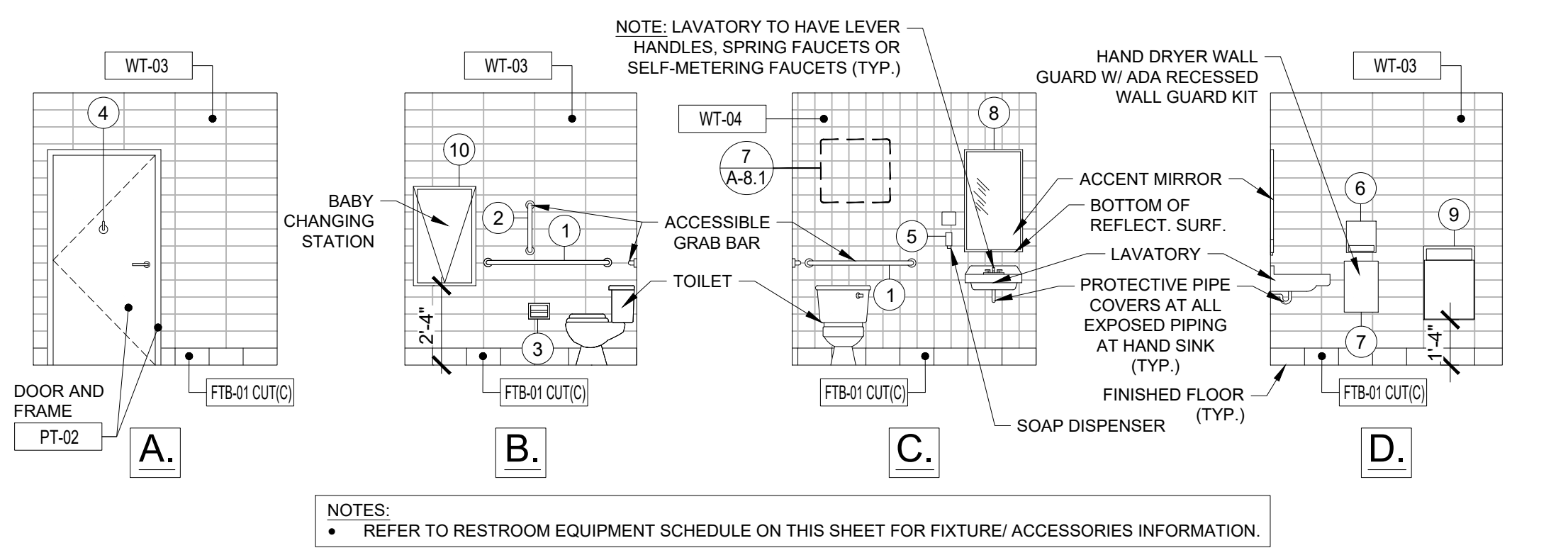
DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046
PC # 364919

SHEET

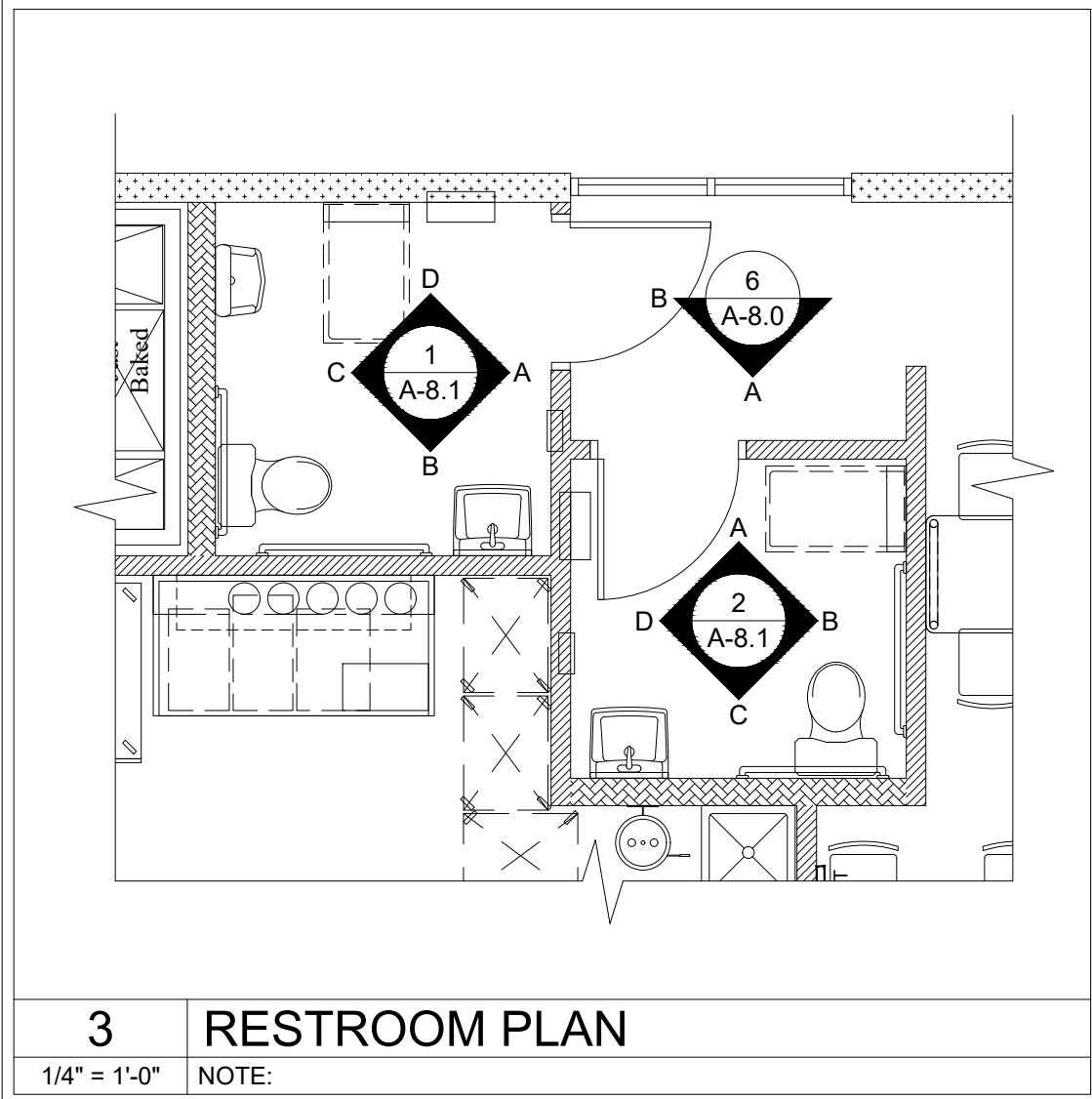
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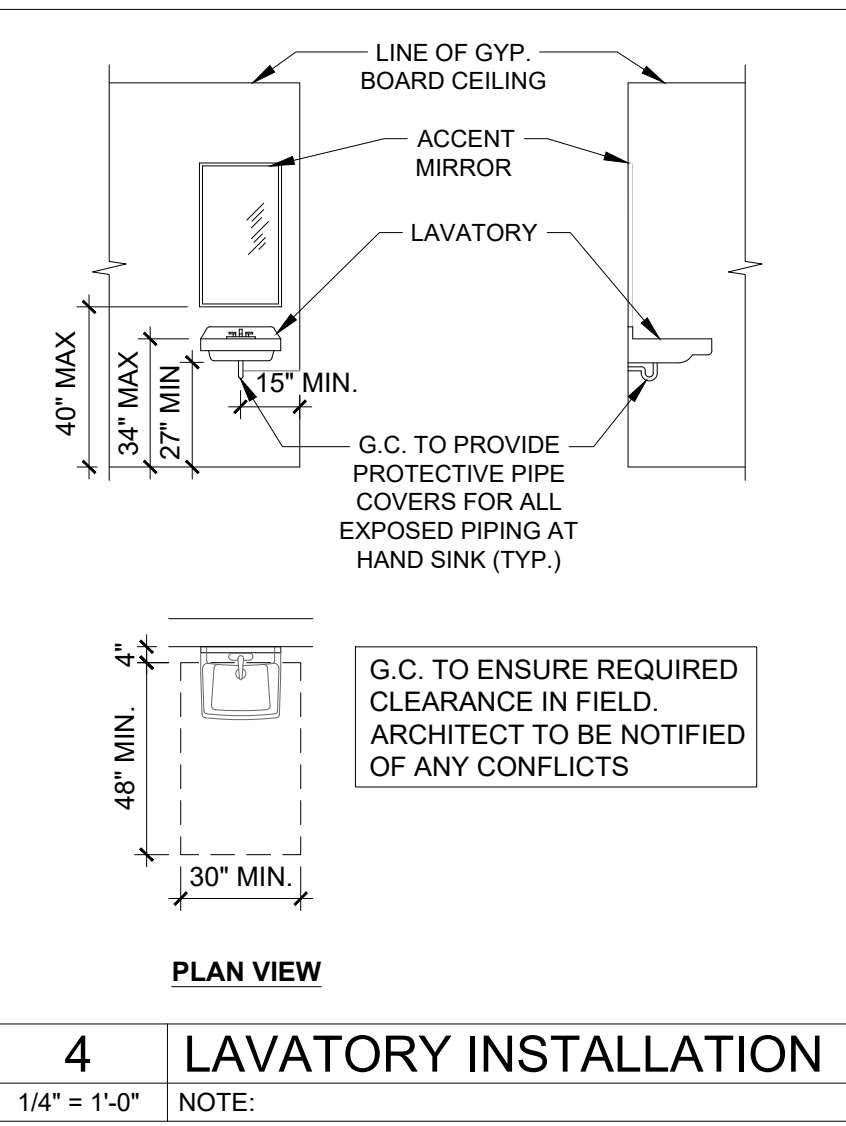
1 INTERIOR ELEVATIONS AT WESTERN ALL-GENDER RESTROOM
1/4" = 1'-0" NOTE:



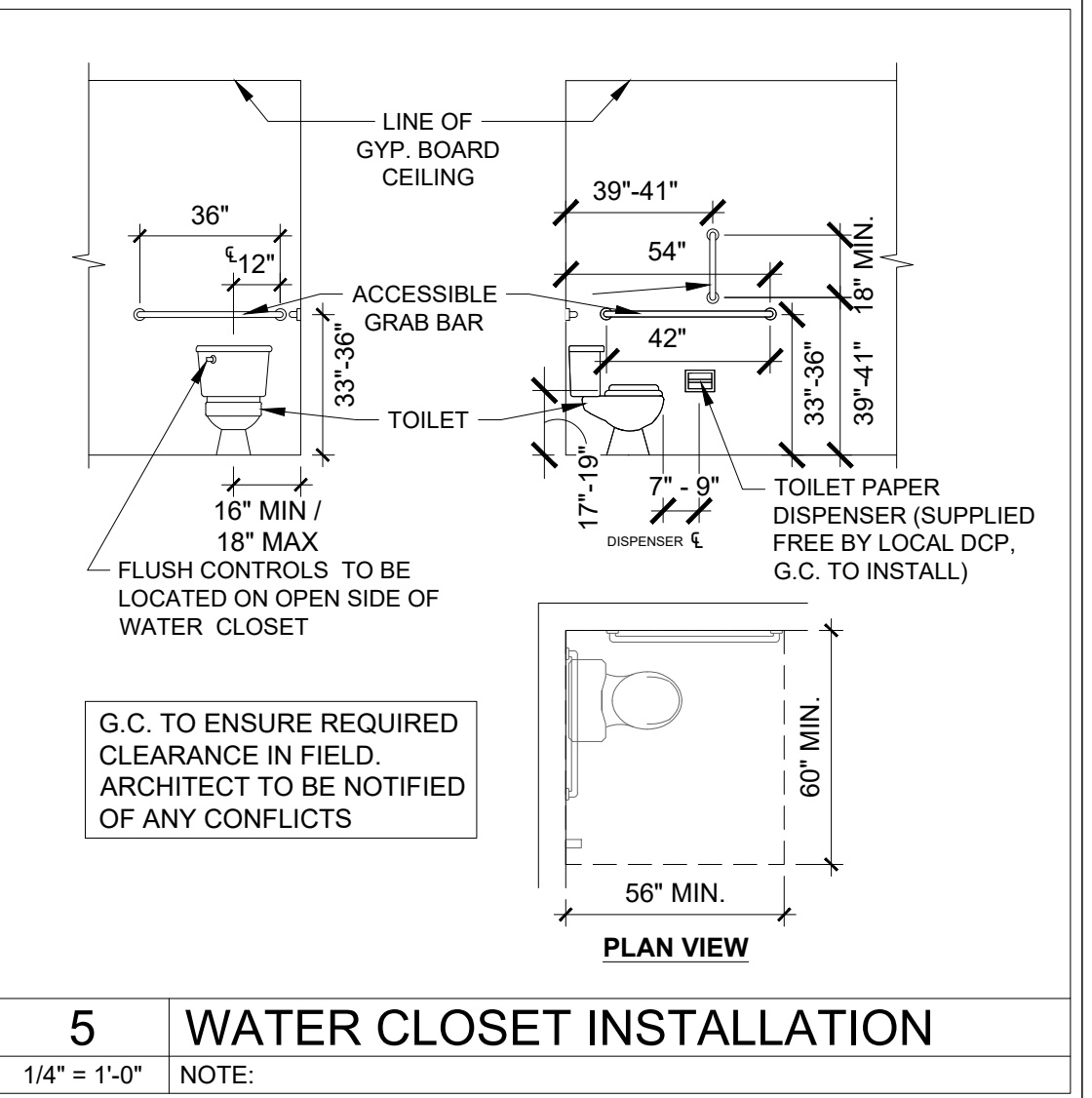
2 INTERIOR ELEVATIONS AT SOUTHERN ALL-GENDER RESTROOM
1/4" = 1'-0" NOTE:



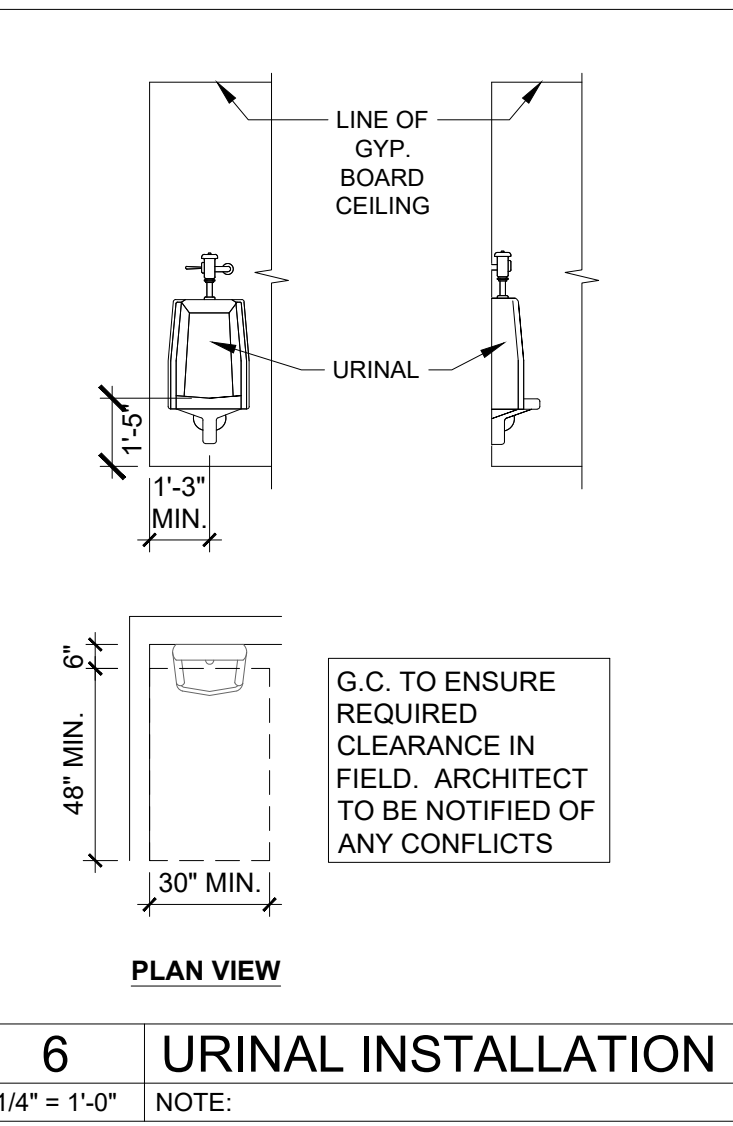
3 RESTROOM PLAN
1/4" = 1'-0" NOTE:



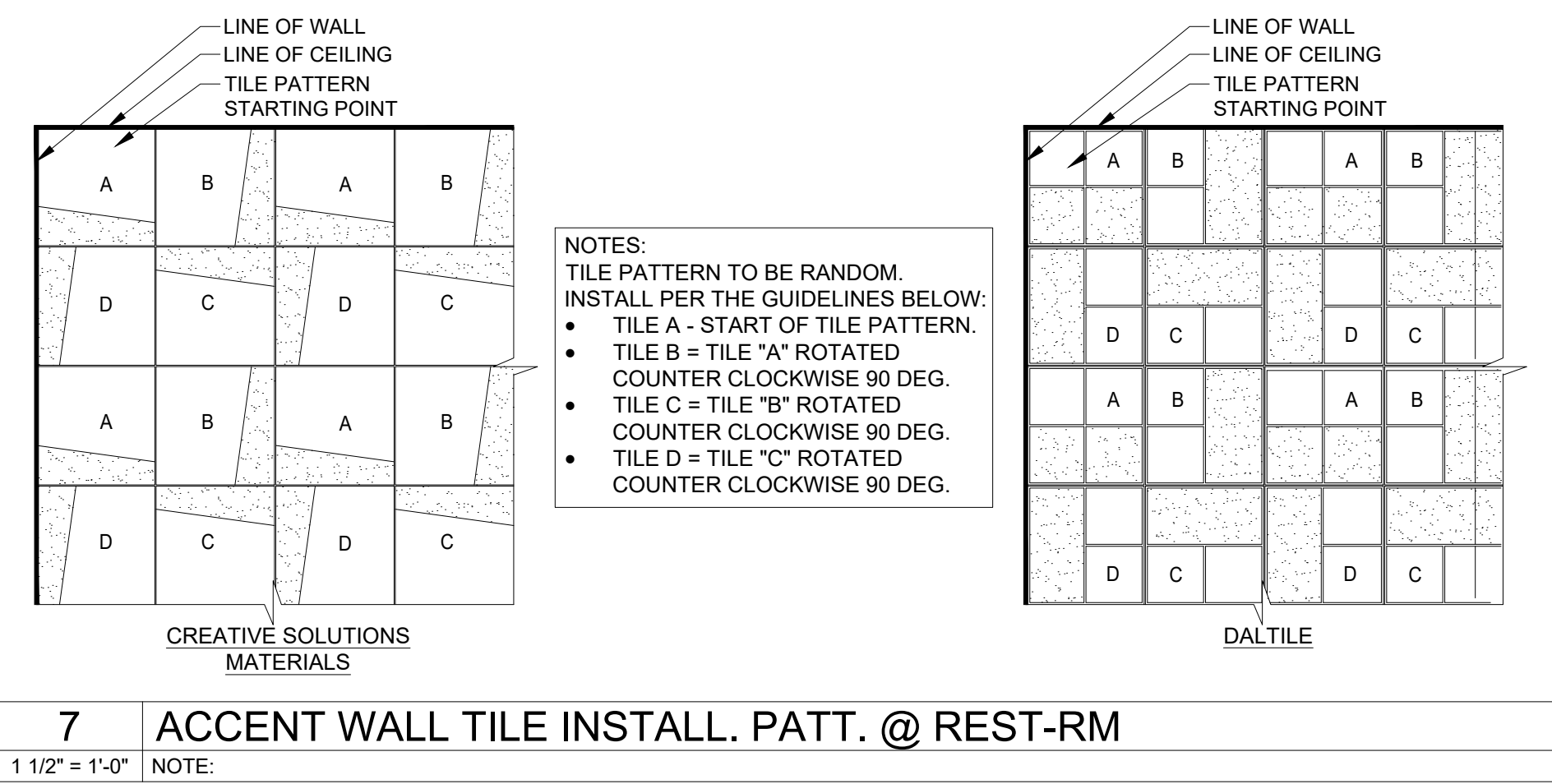
4 LAVATORY INSTALLATION
1/4" = 1'-0" NOTE:



5 WATER CLOSET INSTALLATION
1/4" = 1'-0" NOTE:



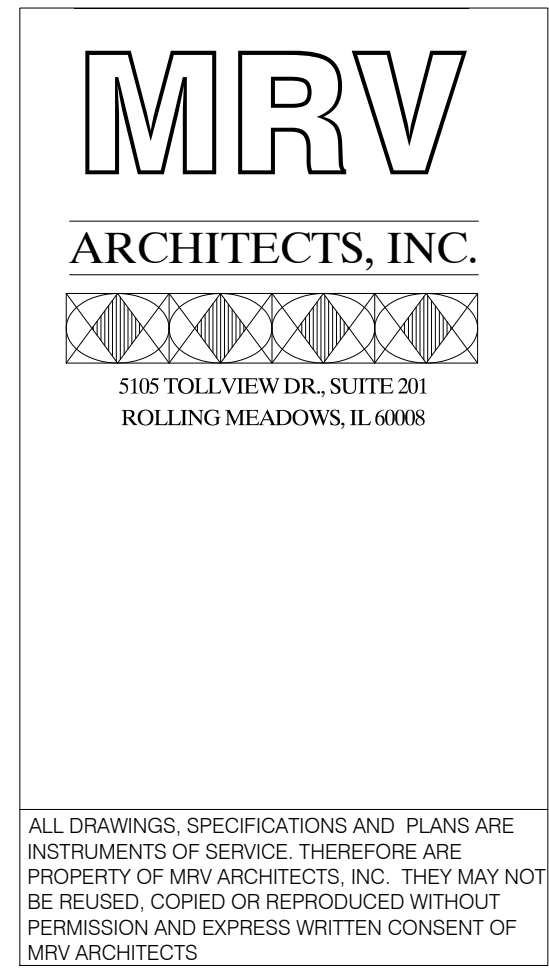
6 URINAL INSTALLATION
1/4" = 1'-0" NOTE:



7 ACCENT WALL TILE INSTALL. PATT. @ REST-RM
1 1/2" = 1'-0" NOTE:

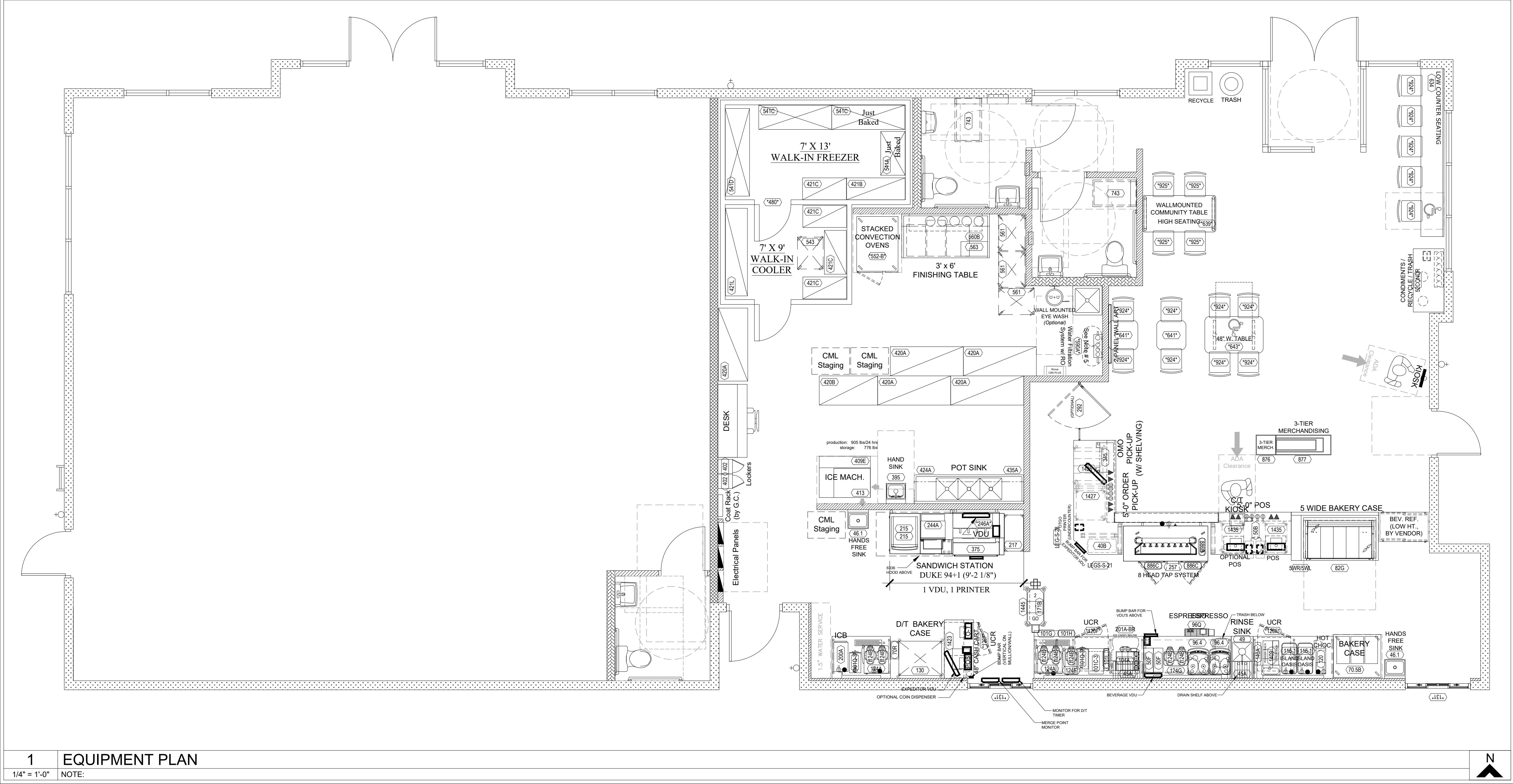
RESTROOM EQUIPMENT SCHEDULE				
CODE	ITEM	MANUFACTURER & PRODUCT #	MOUNTING HEIGHT	REMARKS
1	GRAB BARS	ASI 3701-18P (18"), -36P (36") & -42P (42")	36" MAX. A.F.F.	NOTE C
2	SWING-UP GRAB BAR	BOBRICK #B-4998.99	SEE INSTALLATION INSTRUCTIONS	NOTE C, INSTALL WHEN REQUIRED
3	TOILET PAPER HOLDER	KC PROFESSIONAL 09551	20" BOT OF UNIT, SURFACE MOUNTED	
4	COAT HOOK	ASI 0751	48" A.F.F., MOUNTED ON DOOR	
5	SOAP DISPENSER	DERMA FOAM E- KAY CHEMICAL COMPANY		NOTE A, C
6	AUTOMATIC HAND DRYER	"WORLD VERDIDRI" Q974-A - WHITE OR Q973-A - STAINLESS OR "EXCEL" XLERATOR THIN AIR TA-SIWG - WHITE OR TA-SIWG - STAINLESS		NOTE A, C & E
7	HAND DRYER WALL GUARD	WORLD	-	NOTE F
8	MIRROR (18"x30")	ASI 0620-2436	40" A.F.F. TO BOTTOM	NOTE C
9	TRASH RECEPTACLE	ASI 0458	41"-45" A.F.F. TO OPENING FOR ADA	
10	BABY CHANGING STATION	ASI 9015 VERTICAL	27" TO BOTTOM OF UNIT	NOTE C
11	SANITARY NAPKIN DISPOSAL	ASI 0852	24" TO TOP OF UNIT	WOMEN'S RESTROOM ONLY
NOTES				
NOTE A: OPERATING CONTROLS OF ALL HAND DRYERS, SOAP DISPENSERS AND MULTI PURPOSE UNITS TO BE 42" A.F.F.				
NOTE B: G.C. TO FIELD VERIFY ALL SIZES				
NOTE C: PROVIDE BLOCKING FOR ALL WALL MOUNTED FIXTURES AND ACCESSORIES				
NOTE D: TOILET TISSUE & PAPER TOWEL DISPENSERS SUPPLIED FREE FROM LOCAL DCP. INSTALLED BY G.C.				
NOTE E: HAND DRYER TO BE ORDERED FROM NATIONAL ACCOUNT SUPPLIER AND IS REQUIRED TO HAVE STANDARD DBI GREEN MESSAGING/BRANDING.				
NOTE F: AVAILABLE WITH HAND DRYER, CAN BE PURCHASED SEPARATELY (FOR REMODELS)				
RESTROOM EQUIPMENT LIST				
ALTERNATE HANDS-FREE TOILET EQUIPMENT IS AVAILABLE FOR OPTIONAL USE IN RESTROOMS				
WALL MOUNTED LAVATORY: "LUCERNE" BY AMERICAN STANDARD #2355 012				
AUTOMATIC FLUSH (STANDARD): SLOAN #TF-600-B-BDT, W/ TRANSFORMER #EL-154 AND 0.5 GPM AERATOR #ETEF-1024-A				
TANK TOILET (STANDARD): STANDARD OPTION: AMERICAN STANDARD CADET PRO RIGHTEIGHT ELONGATED 1.28 GPF #215AA.104 (LEFT TRIP) #215AA.105 (RIGHT TRIP) PRESSURE-ASSIST OPTION: AMERICAN STANDARD CADET FLOWISE WIGHTEIGHT ELONGATED, PRESSURE ASSIST 1.1 GPF #2467.00 (LEFT TRIP) #2467.XXX (SPECIFY RIGHT TRIP)				
URINAL: AMERICAN STANDARD WASHBROOK FLOWISE 0.5 GPF HIGH EFFICIENCY URINAL #6590.001				
MANUAL FLUSH (STANDARD): SLOAN 185-0.5 (3782655) REGAL 185-1				
AUTOMATIC FLUSH (OPTIONAL): SLOAN 8186-0.5 (3790068) TOUCHFREE OPERATION, METAL COVER, OVERRIDE BUTTON & FLUSHO METER BODY LESS HANDLE OPENNER.				
1. LOW FLOW PLUMBING FIXTURES MUST MEET FLUSH/FLOW FIXTURE VOLUMES STANDARDS OF 1.28 GPF TOILETS, 0.5 GPF URINALS, 0.5 GPM HAND WASH FAUCETS, AND 2.2 GPM POT SINK FAUCET (BY OTHERS) WITH 1.24 GPM SPRAY HEAD (BY OTHERS)				
2. G.C. TO PROVIDE PRICING FOR STANDARD EQUIPMENT UNLESS DIRECTED OTHERWISE BY FRANCHISEE.				
VENDOR: RESTROOM REMODELS NEWTON DISTRIBUTORS				
CONTACT INFO FOR RESTROOM FIXTURES AND ACCESSORIES				
15 HAMMATT ST. - PO BOX 34 IPSWICH, MA 01938				
PHONE: 617-500-2554 / FAX: 617-845-0350 WWW.RESTROOMREMODELS.COM SALES@RESTROOMREMODELS.COM				
VENDOR CONTACT: PEDRO GRULLON P: 877-837-7745 E: PEDRO@NEWTONDISTRIBUTING.COM WWW.NEWTONDISTRIBUTING.COM				

ADA NOTES:				
THE GENERAL CONTRACTOR SHALL ACQUAINT HIMSELF WITH THE BARRIER FREE REQUIREMENTS FOR THE APPLICABLE STATES AND THE AMERICAN DISABILITIES ACT (ADA) AND SHALL ENSURE THAT THIS FACILITY WILL BE ACCESSIBLE ACCORDING TO THE STRICTER REQUIREMENTS OF THE APPLICABLE STANDARDS. THE FOLLOWING IS A PARTIAL LIST OF REQUIREMENTS.				
1. DOOR HARDWARE SHALL BE MOUNTED BETWEEN 36" AND 42" ABOVE FLOOR AND BE LEVER TYPE.				
2. TOILETS:				
A. LAVATORY TO HAVE LEVER HANDLES, SELF METERING FAUCETS OR SPRING FAUCET. FAUCETS SHALL BE SET TO REMAIN OPEN FOR 10 SECONDS MINIMUM.				
B. A COAT HOOK 48" ABOVE THE FLOOR SHALL BE MOUNTED ADJACENT TO THE BARRIER FREE STALL DOOR.				
C. LOCATE THE WATER CLOSET 16" TO 18" FROM THE CENTER LINE OF THE FIXTURE TO THE WALL. THE SEAT WILL BE 17" TO 19" ABOVE THE FLOOR TO THE TOP OF SEAT. FLUSH HANDLE TO BE ON EXPOSED SIDE OF WATER CLOSET.				
D. PROVIDE ONE 42" AND ONE 36" LONG x 1 1/2" OUTSIDE DIAMETER PEENED GRAB BARS, 1 1/2" FROM THE WALL WITH ONE BEHIND AT 12" FROM CENTER LINE OF WATER CLOSET ON ONE SIDE. ONE ADJACENT TO AT 12" FROM THE WALL 33"-36" PARALLEL TO AND ABOVE THE FLOOR.				
E. LAVATORY TO BE MOUNTED 34" MAX. ABOVE THE FINISHED FLOOR TO RIM WITH KNEE SPACE OF 30" IN WIDTH AND 27" IN CLEAR HEIGHT. (29" CLEAR UNDER FRONT EDGE)				
F. INSTALL MIRROR 40" MAX. ABOVE THE FINISHED FLOOR TO BOTTOM EDGE OF REFLECTING SURFACE (MIRROR GLASS BOTTOM) AND 72" TO TOP.				
G. DISPENSERS TO BE MOUNTED A MAXIMUM OF 42" ABOVE THE FLOOR TO ALL OPERATING OR DISPENSING SLOTS.				
H. TOILET PAPER DISPENSERS MOUNTED 19" MIN. TO CENTER LINE ABOVE THE FLOOR AND 7" MINIMUM AND 9" MAXIMUM FROM FRONT EDGE OF WATER CLOSET MEASURED TO THE CENTERLINE OF THE DISPENSER				

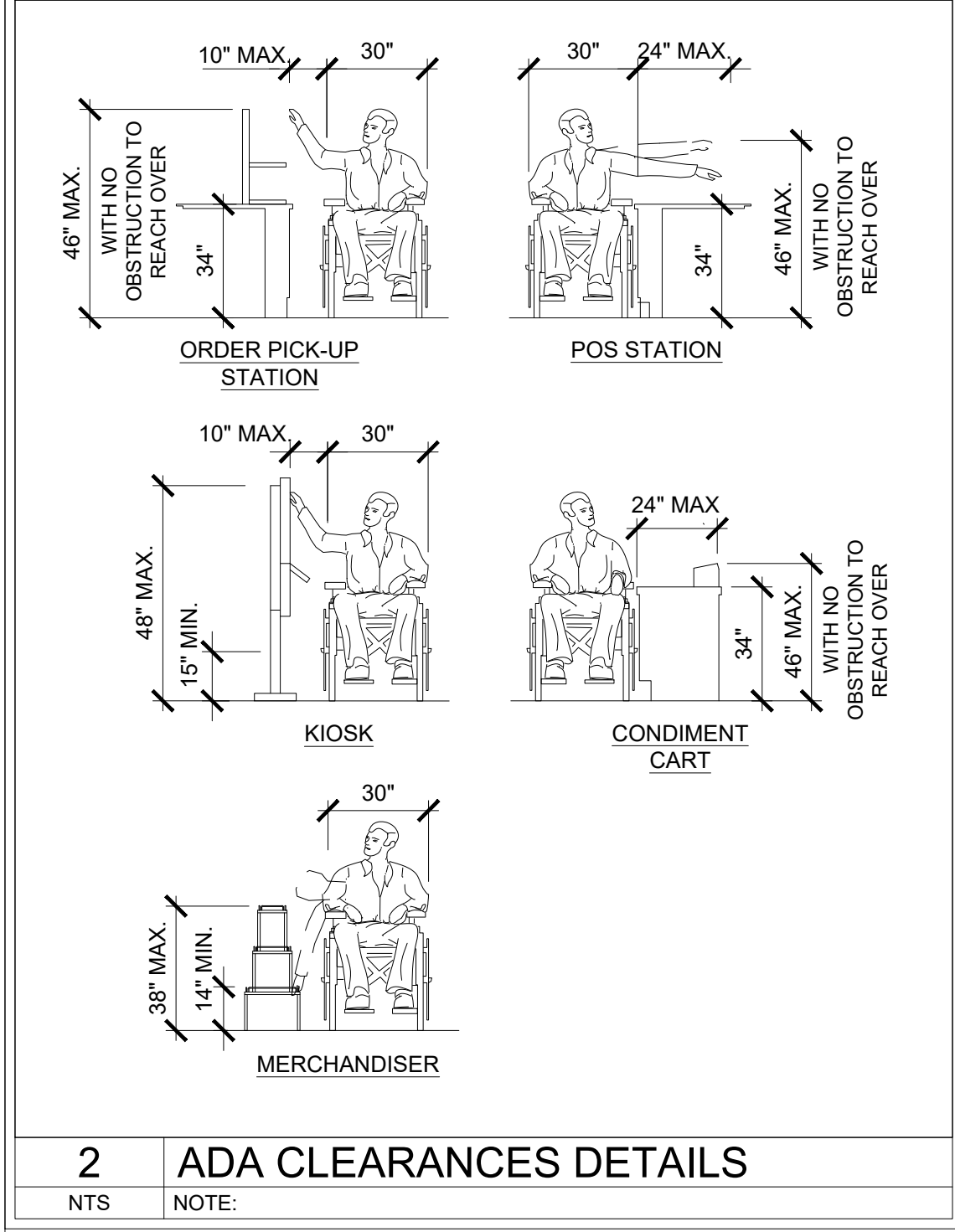


REVISION	DESCRIPTION	ISSUE DATES	EV	MV	DATE	PROJECT No
1	BUILDING REVIEW REVISIONS #1	10/29/24			01-12-24	23110

INTERIOR ELEVATIONS, RESTROOM EQUIPMENT SCHEDULES, DETAILS, & NOTES	DUNKIN' / MULTI TENANT BUILDING 802 TOWER DRIVE LAKE VILLA, IL 60046	PC # 364919
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1 EQUIPMENT PLAN
1/4" = 1'-0" NOTE:



2 ADA CLEARANCES DETAILS
NTS NOTE:



MRV
ARCHITECTS, INC.
5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008

ALL DRAWINGS, SPECIFICATIONS AND PLANS ARE INSTRUMENTS OF SERVICE. THEREFORE ARE PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT BE REPRODUCED, COPIED OR REPRODUCED WITHOUT PERMISSION AND EXPRESS WRITTEN CONSENT OF MRV ARCHITECTS

REVISION	DESCRIPTION	ISSUE DATES	EV	MV	DATE	PROJECT NO.
1	BUILDING REVIEW/REVISIONS #1	10-29-24			01-12-24	23110

EQUIPMENT PLAN, SCHEDULES, DATA, & NOTES
DUNKIN' / MULTI TENANT BUILDING
802 TOWER DRIVE
LAKE VILLA, IL 60046
PC # 364919

DUNKIN' BRANDS DATA							
STORE DIMENSIONS: TOTAL FLOOR AREA: 3,900 NET S.F.		WALK-IN BOX SCHEDULE:		DRIVE THRU:			
RETAIL/SERVICE AREA	448 S.F.	BRAND	DD	YES/NO	YES		
SALES/DINING AREA	396 S.F.	LOCATION OF WALK IN BOX	INTERIOR	SIGNAGE	TYPE	AREA	DIMENSIONS
PREP AREA	305 S.F.	CEILING HEIGHT WHERE BOX IS	N/A	BUILDING-NORTH	1 "DUNKIN"	21.00 S.F.	REFER TO A-5.0
STORAGE	365 S.F.	LOCATED/ CLEARANCE OVERHEAD	N/A	BUILDING-NORTH	1 "FUTURE TENANT"	±21.00 S.F.	REFER TO A-5.0
RESTROOMS	103 S.F.	OVERALL DIMENSION OF BOX	13'-0"L x 14'-0"W x 8'-7"H	BUILDING-EAST	1 "DUNKIN CUP ICON"	25.73 S.F.	REFER TO A-5.0
WALK-IN FREEZER AREA	91 S.F.	FREEZER DIMENSIONS	13'-0"L x 7'-0"W x 8'-7"H	BUILDING-SOUTH	1 "RUNS ON DUNKIN"	20.46 S.F.	REFER TO A-5.1
WALK-IN COOLER AREA	63 S.F.	COOLER DIMENSIONS	9'-0"L x 7'-0"W x 8'-7"H	BUILDING-SOUTH	1 "RUNS ON DUNKIN"	20.46 S.F.	REFER TO A-5.1
RESTROOMS:		ANTE ROOM DIMENSIONS	N/A	BUILDING-WEST	N/A		
NUMBER OF RESTROOMS	2	REFRIGERATION SYSTEM	PRE-ASSEMBLED REMOTE	TREAD PLATE	SITE		
PUBLIC ACCESS TO RESTROOMS	YES						
HANDICAP ACCESSIBLE	YES						
SEATING:		REFRIGERATION LOCATION	REMOTE (TOP OF BUILDING)	TYPE	AREA	DIMENSIONS	
NUMBER OF TABLES	4	REFRIGERATION LINES NEEDED (PRE-CHARGED FOR REMOTE CONDENSING UNITS ONLY)		4 "DRIVE-THRU" DIRECTIONAL SIGN	2.75 S.F.	4'-0"H X 2'-10.1/2"W	REFER TO SP-1.2
NUMBER OF CHAIRS	13			1 MENUBOARD AND SPEAKER	40.70 S.F.	7'-3.1/2"W X 8'-7.3/4"W	
NUMBER OF BARRIER FREE SEATING UNITS	2	OPTIONAL ACCESSORIES:		1 GROUND SIGN	117.79 S.F.	2'-0"H X 2'-0"W	
NUMBER OF COMMUNITY TABLE CHAIRS	4	INTERIOR RAMP	N/A	1 CLEARANCE BAR	4.00 S.F.	2'-0"H X 2'-0"W	
TOTAL # SEATS	17	FLUSH SLAB OR DEPRESSED	RECESSED SLAB				
IMAGE TYPE:		HURRICANE OR SEISMIC TIE DOWNS	NO				
SINGLE BRAND/COMBO (DD-BR-DD/BR)	DD	COUNTY SPECS	N/A				
ELECTRICAL SERVICE:		CASTERS FOR SHELVING	N/A	BUILDING TOTAL SIGNAGE:	88.19 S.F.		
600A 120/208V 3PH 4W		EXTERIOR RAMP	N/A	SITE TOTAL SIGNAGE:	261.68 S.F.		

Walk In Box Schedule by Architect	
Walk In Box	Interior
Ceiling Height where box will be located (if interior)	10'-0" Min. (Ceiling tile NOT continued above)
Overall Dimension of the Box	13'-0" x 14'-0" x 8'-7"
*Freezer Dimensions	13'-0" x 7'-0" x 8'-7"
*Cooler Dimensions	9'-0" x 7'-0" x 8'-7"
Refrigeration System	Pre-Assembled
Refrigeration Location (if REMOTE)	Top of Building
Refrigeration Lineset Needed (with remote units only)	0-50 ft
Electrical Phase	3-Phase (227/480)
Optional Accessories	
Interior Ramp at inside of door at Cooler	No
Hurricane Tie Down	No
Seismic Tie Down	No
DADE County Specs	No
*Standard Walk In Order is 1ft increments on outside dimensions of Freezer/Cooler length and width	
Please note : 3.5" depression slab required for proper door swing	
Pre-Assembled Remote Refrigeration has the compressor unit remotely located and the evaporator is mounted inside the Walk In. The system is pre-wired and requires a drain line and floor drain. The area where the box will be located must have a minimum height of 8' 9". Pre-charged lines up to 50' lengths, and a quick disconnect are included. NO Maximum compartment size START UP BY REFRIG TECH Standard height of Walk In Box using this refrigeration is 8' 7"	

- INSTALLATION NOTES:
- EQUIPMENT SUPPLIER TO PLACE ALL NEW EQUIPMENT
 - GENERAL CONTRACTOR TO PLACE ALL EXISTING EQUIPMENT
 - GENERAL CONTRACTOR TO MAKE ALL MECHANICAL, PLUMBING, AND ELECTRICAL CONNECTIONS FOR ALL EQUIPMENT
 - THE ASTERISKS "*" IN THE "ITEM NO." INDICATES THAT THERE ARE MULTIPLE CHOICES AVAILABLE FOR THE RESPECTIVE PIECE OF EQUIPMENT OR MILLWORK.
 - IT IS UP TO THE FRANCHISEE AND/OR FIELD TEAM TO MAKE THE APPROPRIATE SELECTION FOR THE LOCATION

NOTE:
REFER TO DUNKIN' MULTIBRAND EQUIPMENT SPECIFICATIONS ON DUNKIN' WEB SITE, <http://extranet.dunkinbrands.com>, FOR COMPLETE EQUIPMENT AND UTILITY INFORMATION. DUNKIN' WEB SITE ALWAYS TAKES PRECEDENCE OVER DRAWINGS IN INSTANCE OF CONFLICT.

DD GREEN NOTE:
1. LOW FLOW FIXTURES: PROVIDE A LOW FLOW TOILET (1.28 GPF) & A SENSOR FAUCET (0.5 GPF) AT ALL HAND WASHING SINKS. SEE ENGINEERING PLUMBING DRAWINGS.

VILLAGE OF LAKE VILLA PLAN COMMISSION
MEETING OF _____, 2024

RE: PETITION OF JSN NETWORK, INC. and C & T FOX TROT, LLC FOR
FINAL APPROVAL OF A PROPOSED ADDITIONAL CONDITIONAL USE FOR THE
LAKE TOWER CROSSING PHASE 3 PLANNED DEVELOPMENT

Motion by Plan Commission Member _____, seconded by Plan Commission Member _____, that the Lake Villa Plan Commission recommend to the Mayor and Board of Trustees of the Village of Lake Villa granting final approval of an amended Conditional Use for the Lake Tower Crossing Phase 3 Planned Development which was previously authorized by Village of Lake Villa Ordinance No. 2020-07-07 in the nature of an additional Conditional Use Permit for a Dunkin restaurant with a drive-through facility for the property commonly known as 800 a/k/a 802 Tower Drive as hereinafter described.

I. FINDINGS OF FACT:

- A. The Petitioner, JSN Network, Inc. is the contract purchaser, and C & T Fox Trot, LLC is the reported owner of the Property commonly known as 800 a/k/a 802 Tower Drive which consists of approximately .81 acres, more or less, is located within the corporate limits of the Village of Lake Villa, IL (Permanent Index Number 02-28-201-179), is proposed to be under single ownership and/or unified control by JSN Network, Inc., and is generally located at the southwest corner of Grass Lake Road and Tower Drive in the Village of Lake Villa and is legally described as follows:

LOT 1 AND THE WEST HALF OF THE VACATED RIGHT-OF-WAY OF TOWER DRIVE LYING EAST OF AND ADJOINING SAID LOT 1, IN LAKE TOWER CROSSING PLANNED UNIT DEVELOPMENT PHASE 2, BEING A RESUBDIVISION OF PART OF SECTION 28, TOWNSHIP 46 NORTH, RANGE 10 EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS ACCORDING TO THE PLAT THEREOF RECORDED MAY 1, 2008 AS DOCUMENT NUMBER 6340408, IN THE VILLAGE OF LAKE VILLA, LAKE COUNTY, ILLINOIS.

- B. The Property is presently zoned and classified as part of the Village's SB (Suburban Business) Zoning District, subject to the Lake Tower Crossing Phase 3 Planned Development. The Petitioner is requesting preliminary planned development approval of a Conditional Use Permit for a Dunkin restaurant with a drive-through facility for the Property.
- C. The proposed amendments to the Conditional Use Permit previously approved for the Property by Ordinance No. 2020-07-07 (the "existing Conditional Use Permit") and the additional Conditional Use Permit requested by the Petitioner to authorize the Development:

1. The proposed additional Conditional Use Permit for the Lake Tower Crossing PUD-Phase 3.1-Dunkin Parcel CUP is consistent with the particular physical surroundings of the Property, the properties in the general vicinity thereof, and the historical use of the Property, and that the granting of certain relief from the Village's Zoning Regulations will not be detrimental to the public welfare or injurious to other property owners in the vicinity of the Property, and that such additional Conditional Use Permit and exceptions requested by the Petitioners are consistent with the general purpose and intent of the Lake Villa Zoning Regulations.
2. The proposed additional Conditional Use Permit for the Lake Tower Crossing PUD-Phase 3.1-Dunkin Parcel CUP is consistent with the objectives of the Village's Comprehensive Plan.
3. The proposed additional Conditional Use will be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity.
4. The proposed additional Conditional Use will not significantly diminish the safety, use and enjoyment of surrounding property.
5. The proposed additional Conditional Use will be adequately served by essential public facilities and services such as streets, police and fire service, drainage, and refuse disposal, or such services will be provided by the Petitioner at the Petitioner's sole expense.
6. The proposed additional Conditional Use will not create excessive additional requirements at public expense for public facilities and service and will not be detrimental to the economic welfare of the community.
7. The proposed additional Conditional Use does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors.
8. The proposed additional Conditional Use will provide vehicular access to the Property designed so that such use does not create any interference with traffic on surrounding public thoroughfares.
9. The proposed additional Conditional Use does not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.
10. The proposed additional Conditional Use complies with all additional regulations of the Village specific to the Conditional Use Permit requested.

11. The proposed additional Conditional Use will be consistent with the existing uses on and the existing zoning of nearby properties.
12. Property values will not be diminished by the particular zoning restrictions at issue or by granting of the proposed additional Conditional Use.
13. The value of the Petitioners' property will not be diminished by the requested additional Conditional Use and will promote the general health, safety, and welfare.
14. There will be a gain to the public as a result of the establishment of the proposed additional Conditional Use, and there will be no hardship imposed upon the Petitioner.
15. The Dunkin Parcel is suitable for the establishment of the proposed additional Conditional Use.
16. The Village has undertaken its planning and land use regulations with great care.
17. There is evidence of community need for the uses which are the subject of the additional Conditional Use requested by the Petitioners.
18. The Mixed Use Planned Development, as proposed to be amended, will be consistent with the intent and purpose of the Lake Villa Zoning Regulations.
19. The Mixed Use Planned Development, as proposed to be amended, will be generally compatible with the character of the SB Zoning District and neighborhood in which it will be located.
20. The Mixed Use Planned Development, as proposed to be amended, is consistent with the Village's Official Comprehensive Plan.
21. The Mixed Use Planned Development, as proposed to be amended, will preserve the value of the surrounding residential area and must be compatible with surrounding land uses.
22. The Dunkin Parcel has no topographical, environmentally sensitive, or historical features which require preservation.

II. CONDITIONS OF APPROVAL: It is recommended that the requested Conditional Use Permit be granted subject to the following conditions:

- (A) The final approvals are specific to JSN Network, Inc. which is the contract purchaser of the Dunkin Parcel, its successors and/or assigns, and upon JSN Network, Inc. acquiring title to the Dunkin Parcel JSN shall provide to the Village a copy of the respective recorded deed for such acquisition. Should JSN Network, Inc. fail to acquire title to the Dunkin Parcel, any Ordinance granting final approval of the requested CUP shall be null and void and of no further effect. No construction or site modifications shall be permitted to commence on the Dunkin Parcel until this condition is satisfied.
- (B) The Village's grant of final approval for the Conditional Use Permit for the Dunkin Parcel is hereby expressly subject to the timely and continued compliance by the Petitioner, and its successor(s) and/or assign(s), with the terms, conditions, and restrictions of the Ordinance granting such final approval, and all applicable provisions of the Lake Villa Building Regulations and the other related provisions of the Lake Villa Zoning Regulations and/or the Lake Villa Village Code, as each may be amended from time to time, and all applicable Federal and State laws.
- (C) The Petitioner, and its successor(s) and assign(s), shall be required to establish, operate and maintain the Project on the Dunkin Parcel in good repair and proper operating condition and in compliance with the applicable provisions of the Lake Villa Zoning Regulations, the Lake Villa Village Code, and the Ordinance granting final approval; and
- (D) Neither the Conditional Use Permit for the Project on the Dunkin Parcel, nor any part thereof, shall be operated or maintained in such a manner so as to have a substantial adverse impact on residents or properties in the vicinity thereof, and the Petitioner or its successors and assigns shall take all necessary steps to prevent and/or remedy any such adverse impacts; and
- (E) If, at any time, the Mayor and Board of Trustees of the Village finds that the Conditional Use Permit granted for the Project for the Dunkin Parcel, or any part thereof, has or have caused, is causing, or has or is contributing to any substantial adverse impact(s) on the surrounding area and/or to residents and/or properties in the vicinity, or on the public health and safety, and/or that the Petitioner and/or any of its successor(s) and/or assign(s) has violated any terms or conditions of the Ordinance granting final approval, Ordinance No. 2020-07-07 as amended, and/or any applicable provisions of the Lake Villa Village Code and/or the Lake Villa Zoning Regulations in the establishment, operation, and/or maintenance of the subject Conditional Use Permit for the Dunkin Parcel, the Petitioner and/or its successor(s) and/or assign(s) shall be sent written notice of said findings via Certified Mail, return receipt requested, advising the Petitioner or its successors and assigns that the Petitioner or its successors and assigns is required to bring the Project and the Dunkin Parcel, and/or the use thereof, into compliance with the applicable Village ordinances, and any and all applicable provisions of the Lake

Villa Village Code and the Lake Villa Zoning Regulations, within thirty (30) days from the date of said notice, and the Petitioner or its successors and assigns may also request a hearing on such a request before the Mayor and Board of Trustees of the Village, or before the Village Administrator as their designee. If the Petitioner or its successors and assigns fails to bring the Dunkin Parcel and the Project into such compliance, the Mayor and Board of Trustees of the Village, or the Village Administrator, as their designee, may suspend or revoke said additional Conditional Use Permit after a thirty (30) day written notice has been sent to the Petitioner and to its successor(s) and assign(s), and after an opportunity to be heard by the Mayor and Board of Trustees or the Village Administrator as their designee has been given to the Petitioner and/or its successor(s) and/or assign(s) within said thirty (30) day period; and

- (F) Before commencement of any construction on the Dunkin Parcel, the Petitioner or its successors and/or assigns shall be required to secure all required permits and approvals from the LCDOT and/or the Village to authorize the construction of sidewalks in the Grass Lake Road right-of-way and in the Tower Road right-of-way adjacent to the Dunkin Parcel, which sidewalks shall be constructed and completed by the Petitioner or by its successors and assigns at its sole cost and expense of the Petitioner or its successors and/or assigns before an occupancy permit is issued for any part of the Dunkin Parcel.
- (G) An exception should be granted to the Petitioner and to its successors and assigns to allow the installation of three (3) signs for the primary business on the Dunkin Parcel. Signage on the Dunkin Parcel shall be installed in compliance with the Master Sign Plan which will be attached to the ordinance granting final approval, provided, however, administrative amendments to the Master Sign Plan may be authorized, subject to the prior written approval by the Village Administrator, or his designee, but only on the condition that any proposed amendments shall provide consistency among tenants and architectural compatibility with the commercial building to be constructed on the Dunkin Parcel as determined by and approved in writing in advance by said Village Administrator, or his designee, and/or by the Village's architectural consultant
- (H) The CUP to be established, operated and maintained on the Dunkin Parcel shall comply with all applicable provisions of the Lake Villa Zoning Regulations, of the Lake Villa Subdivision Regulations, and of the Lake Villa Village Code as amended from time to time; and the Lake County Watershed Development Ordinance as adopted by the Village of Lake Villa, as well as all applicable laws and regulations of the State of Illinois and all other applicable local, County, State, and federal laws and regulations, including but not limited to all applicable health and sanitation regulations of the Illinois Department of Public Health, Lake County Board of Health and all of the applicable state and federal agencies.
- (I) Ingress and egress by vehicles to and from the Dunkin Parcel shall be restricted to that shown on the 2024 Approved Final Plans, but the access to and from Deep

Lake Road and Grass Lake Road shall be subject to approval by the Lake County Division of Transportation ("LCDOT"), and any changes to the approved ingress and egress may be approved administratively by the Village Administrator, or his designee, to accommodate comments received from or modifications approved by LCDOT.

- (J) The Dunkin Parcel shall be subject to blanket water, sanitary sewer, storm sewer, drainage, access and maintenance easements in favor of the Village, all of which shall be approved in writing in advance by the Village Administrator, or his designee, and the location of such blanket easements shall be approved by the Village Engineers and the Village Board, and thereafter recorded, and the language of such blanket easements shall be approved by the Village Attorney prior to the execution and recording of said documents. Such easements shall be designated as "Village Easements," and shall be further designated for purposes as appropriate in each case, and such easements are to be kept free of shrubbery, fences and all other structures, except as may be approved by the Village Administrator, or by his designee.
- (K) Tower Drive adjacent to the Property was previously vacated by the Village, but prior to the issuance of the building permit for the Project, the Petitioner shall reconvey the West half of vacated Tower Drive back to the Village by quit claim deed, which deed shall be recorded by the Village with the Lake County Recording Division, in consideration for which conveyance to the Village, the Village shall maintain said parcel and provide snowplowing and ice control as a public Village street to the same level as provided by the Village for other streets in the Village.



DATE: April 15, 2024

TO: Chairman Craig Kressner and Members of the Plan Commission

FROM: Jake Litz, Assistant to the Village Administrator

RE: Preliminary & Final Review – 65 W. Grand Avenue

<u>Property Owner</u>	<u>Property Location</u>	<u>Zoning District</u>
Karpathos Holdings, LLC.	65 W. Grand Avenue Lake Villa, IL 60046	Community Business CB

Petitioner and/or Contract Purchaser: Don Debello, Camta Group, Inc.
23392 W. Apollo Ct.
Lake Villa, IL 60046

Site Location: 65 W. Grand Avenue, Lake Villa, IL 60046

Requested Action Approval of a Conditional Use Permit at 65 W. Grand Avenue (Serve & Swig)

Proposal: Approval of a Conditional Use Permit for a Planned Development for the redevelopment of the Subject Property which includes various interior and exterior improvements to support a tavern use and outdoor recreational activities.

Summary of Request

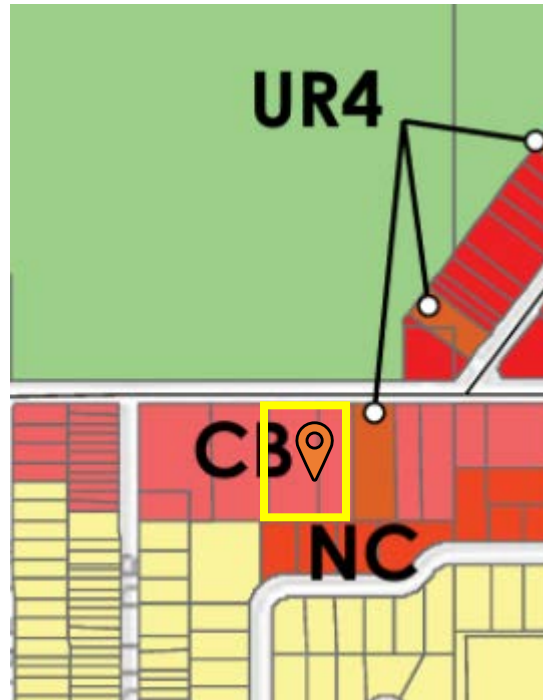
On April 18, 2024 the Plan Commission is scheduled to consider a preliminary and final review of an application for a Conditional Use Permit ("CUP") submitted by Don Debello, (the "Applicant") for 65 W. Grand Avenue ("Subject Property"). The Petitioners for the Conditional Use Permit are the lessee and contract purchaser of the Property, Camta Group, Inc., and the present owner of the Property, Karpathos Holdings, LLC. The Applicant intends to renovate the existing bar, install several outdoor improvements and bar areas, and install a temporary food trailer along the side of the building.

The Subject Property:

- Is approximately 40,000 square feet in area;
- Is Zoned CB Community Business;
- Is located within the Downtown TIF District;
- Is surrounded by:
 - North: CR Commercial Recreational property that is currently undeveloped
 - West: CB Community Business property that is currently occupied by Lakeland Autobody
 - South: NC Neighborhood Conservation property with several single-family homes
 - East: UR4 Urban Residential property that is occupied by a single-family home
- Is designated as appropriate for community business uses in the Comprehensive Plan;

- Is located within a flood hazard area;

CURRENT ZONING MAP OF SUBJECT PROPERTIES



Proposed Project

The Applicant is proposing to enhance the exiting buildings' interior and exterior by means of renovating the existing bar and adding a variety of outdoor activities and games on the Subject Property.

- The improvement to the existing tavern utilizing the existing commercial structure on the Subject Property;
- The expansion, establishment and maintenance of certain outdoor accessory recreational uses and activities, including a sand volleyball area, horseshoes, bean bag toss (cornhole), and similar outdoor activities;
- Outdoor seating for both customers and spectators;
- Installation of a new fence along the southern edge of the Subject Property at a height of twelve (12) feet; and

The installation of a re-purposed shipping container with electric service and potable water connections for the purpose of the preparation and serving of food and beverages to customers, which structure would be used as much as twelve (12) months each year.

Required Zoning Relief

Exceptions for the Village's Zoning Ordinance may be granted pursuant to the issuance of a Conditional Use for a planned development for the purpose of promoting better development that will be beneficial

to the Village, to the residents/patrons of the planned development, and to the residents of the surrounding properties. Exceptions that are granted under a conditional use shall enhance the quality of the development, be compatible with the primary uses of the property, and shall not be detrimental to surrounding properties. In reviewing the Applicant's proposal, the following are a list of exceptions that will be necessary for the Project:

- Installation of a 12' fence along the rear property line of the Subject Property (Currently, there is a 6' fence at this location) which exceeds the current allowable maximum height of eight (8) feet;
- Side yard setback to allow a temporary food trailer to be parked intermittently on the West side yard setback of the Subject Property (the trailer will be located not less than one foot from the West side lot line of the Subject Property) which exceeds the current allowable minimum setback distance of twelve (12) feet; and Installation and use of a modified shipping container that can be used as much as twelve (12) months each year which exceeds the current allowable maximum timeframe of six (6) months.

Procedural Review of Conditional Use Permit Request

Pursuant to Section 10-7-2 of the Village Code, a conditional use permit may be granted in accordance with the standards and procedures set forth in the Code. An application for a CUP must first be submitted to the Village, which will then be forwarded to the Plan Commission for a required public hearing, after which the Board of Trustees will review such report or recommendation of the Commission. During the Public Hearing, the Plan Commission will hear the evidence presented by Village Staff, Applicant/Developer, and any individuals in the audience wishing to provide public comment, present evidence, and/or cross-examine witnesses relative to the proposed request. At the conclusion of the public hearing, the Plan Commission shall, with the aid and advice of Village Staff, transmit its findings and recommendations as to whether a variation should be approved, approved subject to modifications, or not approved.

Recommendation by Village Staff

Village Staff have reviewed the documents submitted by the Applicant and recommends that the Plan Commission hear a presentation outlining the proposal including a high-level review of the Site Plan, operating provisions, and elevations for the proposed development.

While reviewing the request, the Plan Commission will want to consider the following items:

1. Is it appropriate to allow for the proposed 12' fence in the rear of the property?
2. Has the petitioner demonstrated attention to detail relative to Village requirements that enhance the character of the proposed redevelopment?
3. Is the food trailer in an appropriate location on the west-side of the existing building?
4. Does the proposed redevelopment satisfy the zoning regulations and requirements and the guidelines for planned development of promoting better development that will be beneficial to the Village and adjacent properties?

Staff and the Applicant will be present for the April 18, Plan Commission meeting to answer any questions that may arise.

Attachments

- Conditional Use Permit Application Packet and Required Submittals
- Site Plan for the Proposed Development
- Exterior Elevations

**VILLAGE OF LAKE VILLA
ZONING BOARD OF APPEALS**

**ZONING CHANGE, CONDITIONAL USE PERMIT, PLANNED UNIT
DEVELOPMENT, AND VARIATION APPLICATION**

Please print or type all information:

- I. Zoning change
 X Conditional Use Permit (CUP)
 Planned Unit Development (PUD)
 Variation from the zoning ordinance

II. Now come Don Debello (Contract purchaser/lessee)

and represent that they are the (owner) (contract purchaser) (lessee) of the following
described real estate to-wit: (Legal description): lot 2 , Rox's add to lake villa,sec 05
 Twp 45 Rng 10 E 3rd Pm as Doc 914699 in Lake County , il. PIN -06-05-202-043

III. Commonly known as (street address): 65 W grand Ave Lake Villa Il 60046

IV. Physical location of the property:

Located on the South side of Grand Ave , approximately
 (direction) (street name)
200 feet West from Cedar ave .
 (direction) (street name)

V. Permanent Real Estate Tax (PIN) Number: 06-05-202-043

Assessed Valuation for the last three years:

<u>20 24</u>	<u>\$</u>	<u>\$85,835.00</u>
<u>20 23</u>	<u>\$</u>	<u>\$93,539.00</u>
<u>20 22</u>	<u>\$</u>	<u>\$93,539.00</u>

VI. That said premises are now classified under the Lake Villa Zoning Ordinance as the Com zone, and are presently:

Beverage establishment

(insert vacation, or a description of the present use of the property)

VII. That under said current classification, the petitioner(s) are prohibited from installing and operating therein the following uses, of which they are desirous.

(Make a brief statement as to the proposed use.)

Food and Beverage mixed use outdoor recreation

VIII. That petitioner(s) feel that their request is justified in

This outdoor combined space provides the community with something not currently available, but desired.

(Make a statement as to why you believe the requested change is desirable.)

WHEREFOR, your petition(s) pray that your Honorable Body, pursuant to your rules and regulations, will hold a public hearing as provided by ordinance and as a result of said hearing recommend to the Village Board of Lake Villa, that the Village amend, or modify the use(s) to which the above described premises may be put; that said premises be:

A. Rezoned from the present zone to the zone.

B. X Issued a Conditional Use Permit.

C. Issued a Planned Unit Development

D. Issued a variation from Ordinance.

E.

IX. PETITIONER'S NAME Don Debello

Print/type

Signature

23392 W Apollo Ct Lake Villa il 60046

Address

847-980-9935

Phone number

X. Some of the items required may be waived depending upon the nature and scope of this application.

1. If petitioner is a corporation, a counsel at the public hearing must represent you.
2. Petitioner must present with this petition the following:
 - i. Current evidence of title to property, purchase contract or lease agreement.
 - ii. Plat of Survey with square footage of property
 - iii. Plat of Survey with all existing buildings and structures shown and specifically located.
 - iv. Photographs of the area for which the change is requested.
 - v. Sketch drawn to scale of subject property with proposed changes, and all property and improvements within 300 feet of subject property (include North arrow.)
 - vi. Legal description of the property.
3. Indicated which portion, if any of subject property, is in flood plain.
4. Letter of Concurrence from present property owner if different from petitioner(s). Letter from owner must show owner's name, address, and present phone number.
5. If requested for a Conditional Use Permit, requirements of the Lake Villa Zoning Ordinance Article Four, Section IV.

For office use only

Zoning change fee: \$ _____

Variation fee: \$ _____

CUP fee: \$ _____

PUD fee: \$ _____

Escrow: \$ _____

Total amount received: \$ _____

Date payment received: _____ Cash Check# _____



Serve & Swig will strive to be the destination for family and friends alike. The place that feels like home because of the memories made there. Whether it's enjoying a meal or sharing a drink, but really it's a chance for a place to be more than just that. We have created a menu unlike most, will be loved by everyone and fits our concept. This begins with a beautiful remodeling of the inside of the building.

Activities help bring people together and it is our hope that we will be able to do that in a variety of ways. Whether it be through volleyball, cornhole, tic-tak-toe, janga, darts, pool, trivia, bingo, gaming. We would eventually add a sport court for curling, pickle ball, dodge ball, shuffleboard, and basketball. We want everyone to make their own experience. Providing an outdoor area that is part of the activities, yet relaxing for couples, friends, and families will allow everyone to enjoy their time together.

In our grand scope, we would be open from 6am-1am (weekdays) and 2am (weekends). During that time frame, we would be open for breakfast, lunch, and dinner. Outdoor activity (volleyball) lights will be off at 10pm and all outdoor (sport) activities will cease at 9:45pm. An outdoor patio will be available for customers to continue to relax and enjoy the outdoors without music.

Our main objective is to add value to the community and be a part of it. We believe in doing that through family and friends in a safe and welcoming environment that is also respectful to our neighbors. This will no longer be the place it once was, it will be better. Serve & Swig will be an addition that adds value and pride to the Village of Lake Villa.



Planning Commission
Village of Lake Villa
65 Cedar Avenue
P.O. Box 519
Lake Villa, IL 60046

The proposed plan for Serve & Swig is to continue to use the property as previously used in terms of a bar with outdoor volleyball courts and indoor gaming. The change would be to introduce food back to the site with a permanent food trailer that will be hooked up to city water, sewer and electric to suffice the Lake County Health Departments request. The introduction of the outdoor shipping container bar will allow us to add without impacting the flood plain. All of these items will fit into the FEMA regulations due to the flood plan. This is the best scenario for all.

This proposed space will give a combined purpose of indoor and outdoor use with activities that the community currently does not have within the Village. Providing food on site will be beneficial to the community in terms of quality, consistency and reliability. The current indoor space will see a fresh feel that is welcoming, clean, and brings the current space to current codes. Serve & Swig will draw outside residence into the Village of Lake Villa and fill a need the community desires for an outdoor space to enjoy during the warmer months with a fresh indoor space that is rejuvenated, safe, and friendly to everyone.

Sincerely,

Don DeBello

A handwritten signature in black ink, appearing to be 'Don DeBello', written in a cursive style.

I, Iannis V Skoulllos "Jon", consent to the concept of the improvements at 65 W Grand Ave, Lake Villa, IL 60046 as written below and provided to the Village of Lake Villa.

Serve & Swig will strive to be the destination for family and friends alike. The place that feels like home because of the memories made there. Whether it's enjoying a meal or sharing a drink, but really it's a chance for a place to be more than just that. We have created a menu unlike most, will be loved by everyone and fits our concept. This begins with a beautiful remodeling of the inside of the building.

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Our main objective is to add value to the community and be a part of it. We believe in doing that through family and friends in a safe and welcoming environment that is also respectful to our neighbors. This will no longer be the place it once was, it will be better. Serve & Swig will be an addition that adds value and pride to the Village of Lake Villa.

Signed,



Iannis V Skoulllos "Jon"

Dated

3-4-24

MidLakesSurvey.com
25535 W. LAKEVIEW CT.
LAKE VILLA, IL 60046

Phone: 847-973-1873
Fax: 847-973-9783
midlakes.survey@yahoo.com

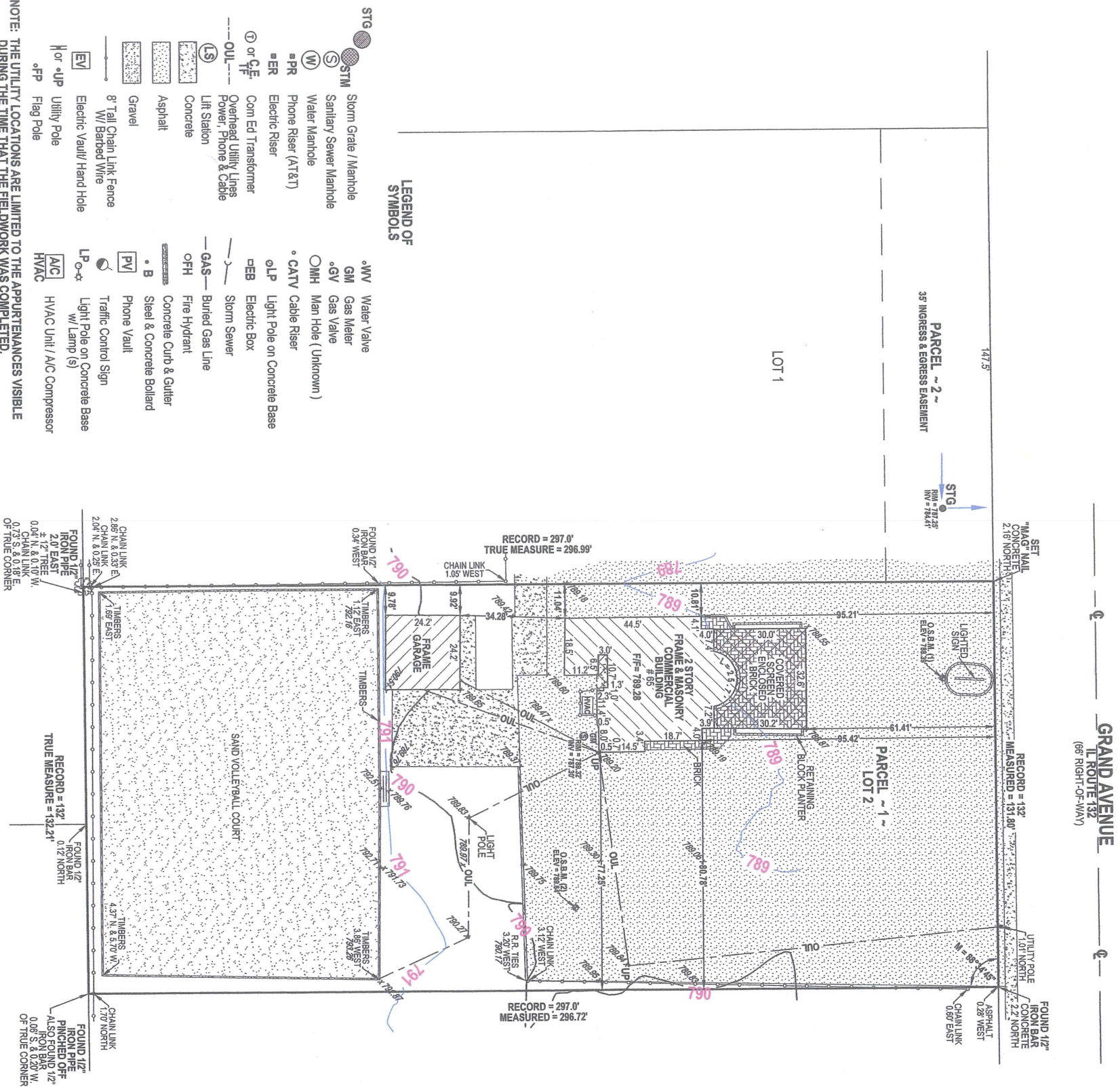
MID LAKES SURVEY COMPANY

Illinois Professional Design Firm 184,006153

PLAT OF BOUNDARY & TOPOGRAPHIC SURVEY

PARCEL 1: LOT 2 IN ROCK'S ADDITION TO LAKE VILLA, BEING A SUBDIVISION OF THE NORTH 330 FEET OF THE EAST HALF OF LOT 2 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 45 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THEREFROM THE WEST 700.8 FEET THEREOF AND EXCEPT THE EAST 342.0 FEET THEREOF, ACCORDING TO THE PLAT THEREOF, RECORDED JULY 6, 1956, AS DOCUMENT 914699 IN BOOK 1460 OF RECORDS, PAGE 165, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: AN EASEMENT FOR THE BENEFIT OF PARCEL 1 OVER THE NORTH 35 FEET OF LOT 1, SUBDIVISION AFORESAID, FOR THE PURPOSE OF INGRESS AND EGRESS AS RESERVED IN DEED FROM GEORGE KOVACHENIC AND WIFE, TO LOUIS L. BENN, DATED JULY 10, 1956, AND RECORDED AUGUST 16, 1956 AS DOCUMENT 919899, IN LAKE COUNTY, ILLINOIS.



BENCHMARK INFORMATION

O.S.M. (1) - ON-SITE BENCHMARK - "MAG" NAIL SOUTH SIDE OF RETAINING BLOCK PLANTER AROUND BASE OF LIGHTED SIGN AT THE NORTH END OF THE SUBJECT PARCEL, DOWNET BAY CONSTRUCTION CO. (DB-3) MAND 88 ELEVATION = 788.38'

NOTES: BEARINGS & SURVEY DATA IS BASED ON STATE PLANE COORDINATES SPCS3-ILLINOIS (EAST) ZONE DATUM NAD83, NO. TRANS, GEOD MODEL, g2018a3, Grid/Ground, Combined SCALE FACTOR = 1,000000000000

All Distances shown in feet and decimal parts thereof. No distances are to be determined by scaling. All fences are located to centerlines, unless otherwise noted.

Field work completed on 03/04/2024

COPYRIGHT 2024 - MID LAKES SURVEY COMPANY

Job no. 65 GRAND AVENUE P.L.M. 06-05-2024-063 Scale: 1" = 25'

Address LAKE VILLA, IL 60046 Prepared By: LR

Ordered By: IDL, INC. Checked By: JMM

STATE OF ILLINOIS)
COUNTY OF LAKE) S.S.
On behalf of MID LAKES SURVEY COMPANY, I hereby certify that the above described property was surveyed under my supervision and that the annexed plat is a correct representation of said survey. This professional service conforms to the current Illinois minimum standards for a boundary and topographic survey.

Dated MARCH 7, 2024

By Matthew N. Messer, PLS
MidLakes Survey Company
Illinois Professional Land Surveyor - My license expires 11/30/2018



Street view of current property (Facing southwest)



Street view of current property (Facing south)



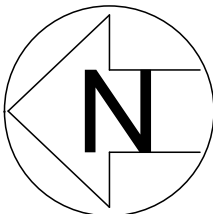
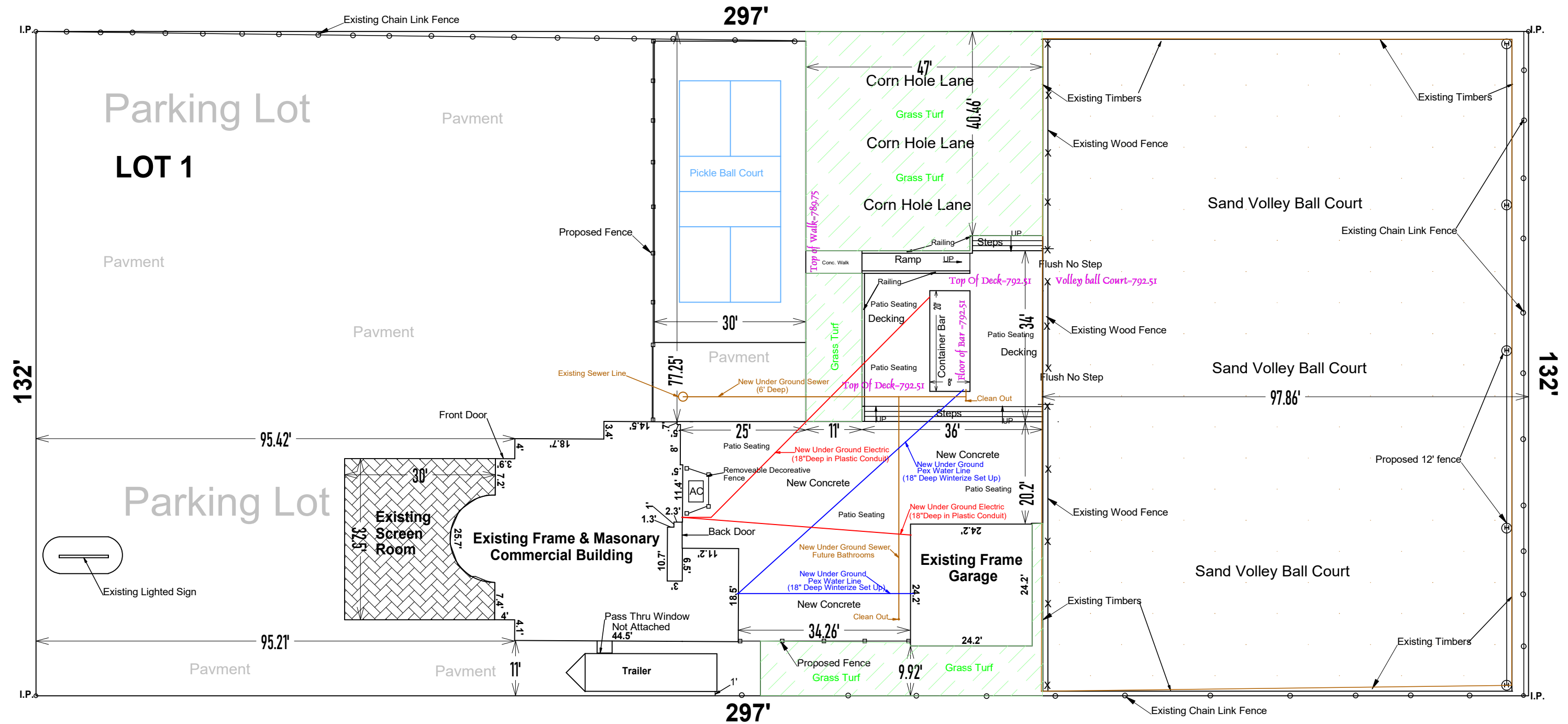
Street view of current property (Facing southeast)







Grand Ave Route 132



0 5' 10' 20' 40'

Scale 1"= 20'

Scale is approximate, critical dimensions to be VIF

Debello IDDI			
Serve and Swig Site Plan		Approved by:	
Date: 03/26/24		Sht 1 of 1	

MidLakesSurvey.com
25535 W. LAKEVIEW CT.
LAKE VILLA, IL 60046

MID LAKES SURVEY COMPANY

Illinois Professional Design Firm 184,006153

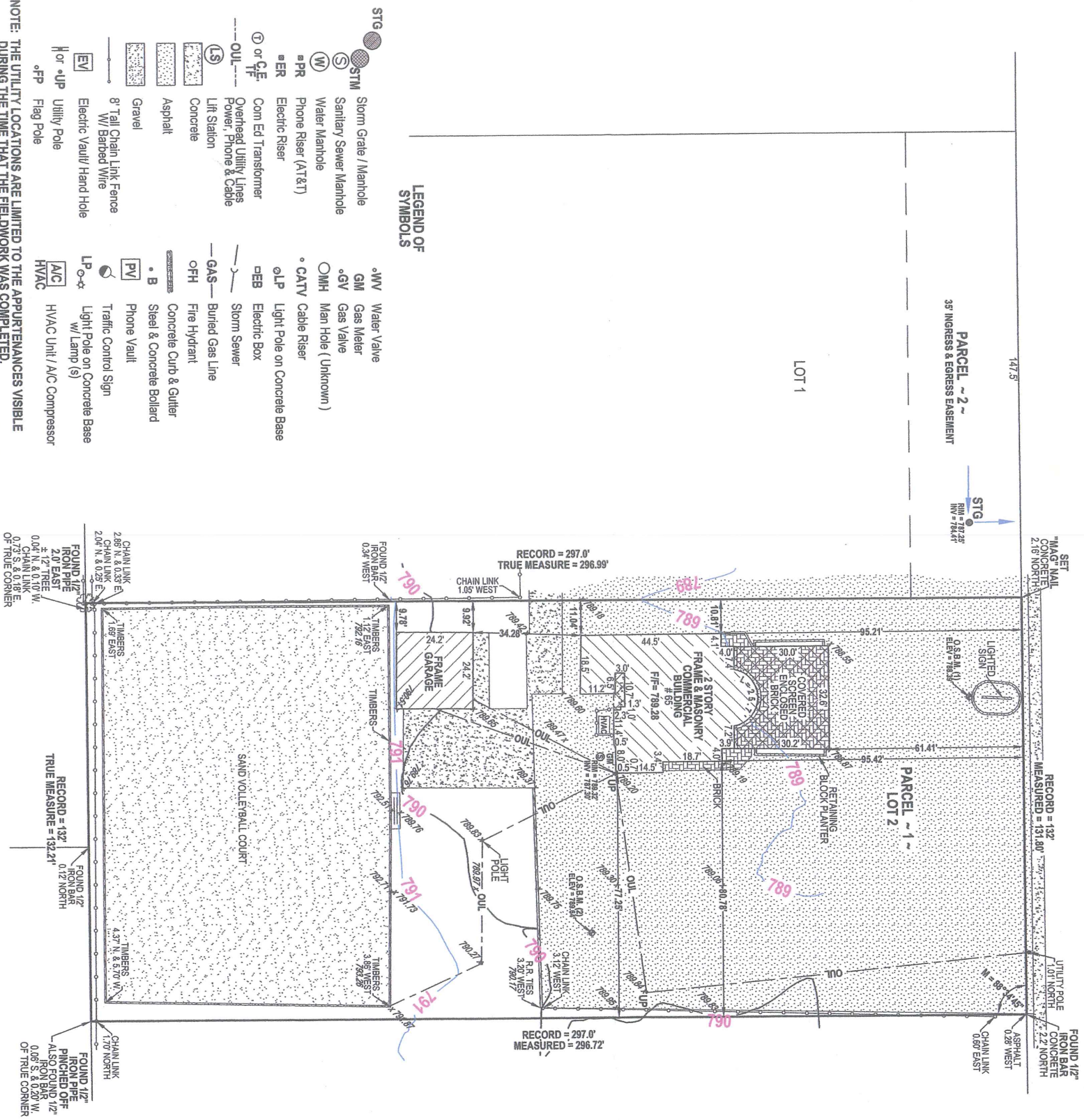
PLAT OF BOUNDARY & TOPOGRAPHIC SURVEY

Phone: 847-973-1873
Fax: 847-973-9783
midlakes.survey@yahoo.com

PARCEL 1: LOT 2 IN ROCK'S ADDITION TO LAKE VILLA, BEING A SUBDIVISION OF THE NORTH 330 FEET OF THE EAST HALF OF LOT 2 OF THE NORTHWEST 1/4 OF SECTION 5, TOWNSHIP 45 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN, (EXCEPT THEREFROM THE WEST 700.8 FEET THEREOF AND EXCEPT THE EAST 342.0 FEET THEREOF, ACCORDING TO THE PLAT THEREOF, RECORDED JULY 6, 1956, AS DOCUMENT 914699 IN BOOK 1460 OF RECORDS, PAGE 165, IN LAKE COUNTY, ILLINOIS.

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GRAND AVENUE
IL ROUTE 132
(66' RIGHT-OF-WAY)



BENCHMARK INFORMATION

O.S.M. (1) - ON-SITE BENCHMARK - "MAG" NAIL SOUTH SIDE OF RETAINING BLOCK PLANTER AROUND BASE OF LIGHTED SIGN AT THE NORTH END OF THE SUBJECT PARCEL. DUNNET BAY CONSTRUCTION CO. (DB-3) MAND 88 ELEVATION = 788.38'

NOTES: BEARINGS & SURVEY DATA IS BASED ON STATE PLANE COORDINATES SPFC3-ILLINOIS (EAST) ZONE DATUM NAD83, NO. TRANS, GEOD MODEL, g2018a3, Grid/Ground, Combined SCALE FACTOR = 1,000000000000

All Distances shown in feet and decimal parts thereof. No distances are to be determined by scaling. All fences are located to centerlines, unless otherwise noted.
Field work completed on 03/04/2024
COPYRIGHT 2024 - MID LAKES SURVEY COMPANY
Job no. 65 GRAND AVENUE
Address LAKE VILLA, IL 60046
P.L.N. 06-05-2024-063
Printed By: LR
Checked By: JMM

STATE OF ILLINOIS)
COUNTY OF LAKE) S.S.

On behalf of MID LAKES SURVEY COMPANY, I hereby certify that the above described property was surveyed under my supervision and that the annexed plat is a correct representation of said survey. This professional service conforms to the current Illinois minimum standards for a boundary and topographic survey.

Dated MARCH 7, 2024

MID LAKES SURVEY COMPANY

By: Matthew N. Messer, PLS
Illinois Professional Land Surveyor - My license expires 11/30/2018



Street view of current property (Facing southwest)



Street view of current property (Facing south)



Street view of current property (Facing southeast)



Street view of current property (Facing southwest)



Street view of current property (Facing south)



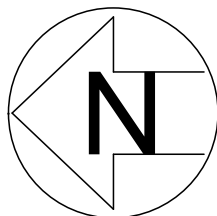
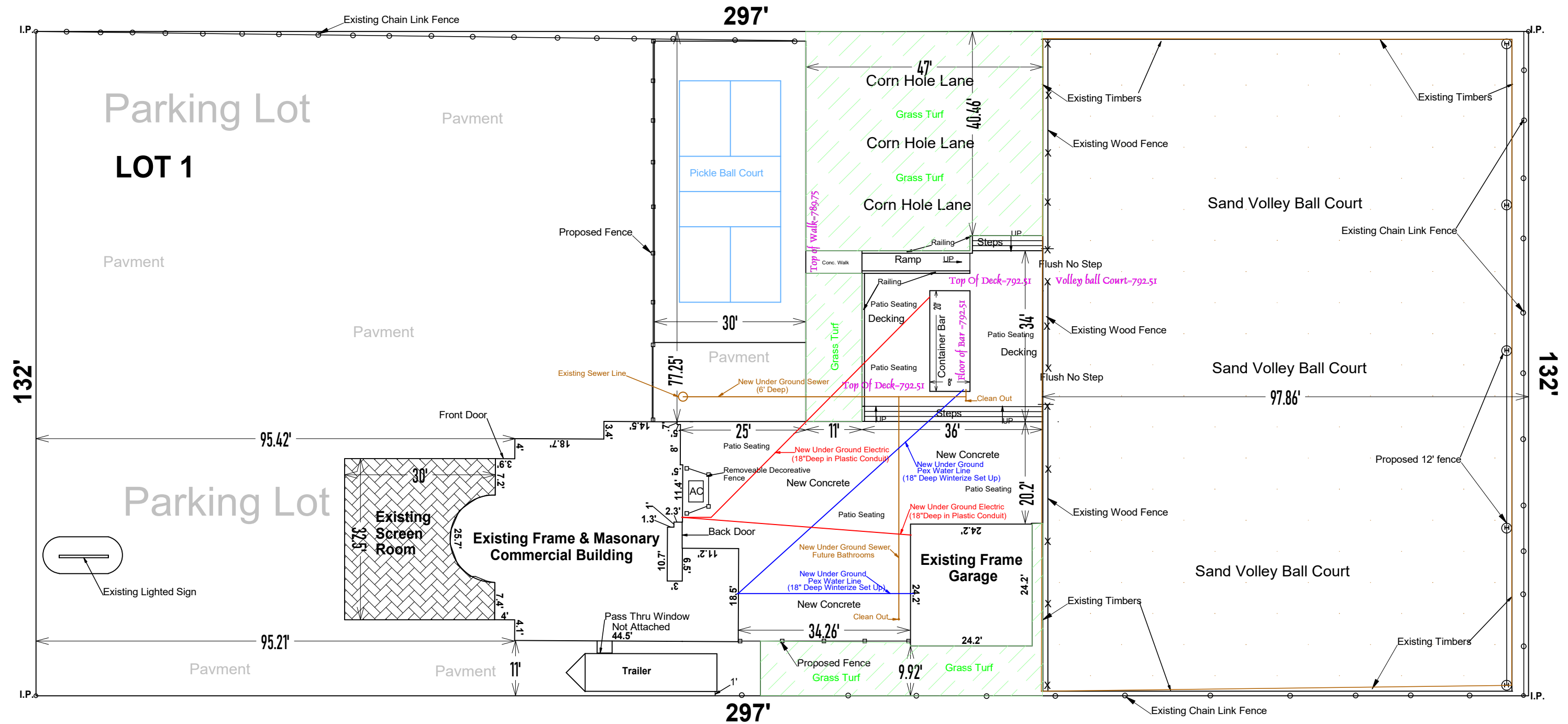
Street view of current property (Facing southeast)







Grand Ave Route 132



0 5' 10' 20' 40'

Scale 1"= 20'

Scale is approximate, critical dimensions to be VIF

Debello IDDI			
Serve and Swig Site Plan		Approved by:	
Date: 03/26/24		Sht 1 of 1	

NOTICE OF PUBLIC HEARING BEFORE THE PLAN COMMISSION
OF THE VILLAGE OF LAKE VILLA

NOTICE IS HEREBY GIVEN of a public hearing to be held by the Plan Commission of the Village of Lake Villa on Thursday, April 18, 2024, at 7:00 p.m., or as soon thereafter as the Plan Commission's agenda permits, at the Village of Lake Villa Village Hall, 65 Cedar Avenue, Lake Villa, Illinois, 60046.

NATURE OF REQUEST: The Petitioner is the Owner of the Subject Property and is requesting the Village's approval of a Conditional Use Permit for a Planned Development for the redevelopment of the Subject Property, which redevelopment would include: (1) the improvement and/or expansion of the existing tavern utilizing the existing commercial structure on the Subject Property, (2) the expansion, establishment and maintenance of certain outdoor accessory recreational uses and activities, including a sand volleyball area, horseshoes, bean bag toss (also known as cornhole), and similar outdoor activities, (3) outdoor seating for both customers and spectators, and (4) the installation of a re-purposed shipping container with electric service and potable water connections for the purpose of the preparation and serving of food and beverages to customers, which structure would be used as much as twelve (12) months each year, (5) certain requested variations (i.e., exceptions) from certain provisions of the Zoning Ordinance to permit the installation of a fence having a height of up to twelve feet (12') along the rear property line (there is now a fence which is six (6) feet in height at this location) along with a setback variation (i.e., exception) to allow for a temporary food trailer to park intermittently in the West side yard setback. Said trailer shall in no event be located not less than one (1) foot from the West side lot line. The Subject Property has been and continues to be utilized as a tavern pursuant to a previous Conditional Use Permit which was granted in 1992 by Ordinance No. 92-6-5 to authorize the outdoor serving of alcohol and certain outdoor accessory recreational activities. The Subject Property is part of the Village of Lake Villa's CB (Community Business) Zoning District, and the Petitioner is not requesting any rezoning of the Subject Property but is seeking a conditional use as described above.

OWNER OF RECORD AND PETITIONER: The Petitioner and Owner of the Subject Property is Karpathos Holdings, LLC, by Ioannis Skoullou, its Manager, 45 W. Grand Avenue, Lake Villa, IL 60046.

ADDRESS AND LOCATION OF PROPERTY: The Subject Property is commonly known as 65 W. Grand Avenue, Lake Villa, IL 60046, is improved with an existing commercial structure, is approximately .91 acres in area (approximately 39,970 sq. ft.), and is located within the corporate limits of the Village on the South side of Grand Avenue (Route 132) west of Cedar and Sherman Avenues and east of Oak Knoll Drive.

LEGAL DESCRIPTION OF PROPERTY ("the Subject Property"):

PARCEL 1: LOT 2 IN ROX'S ADDITION TO LAKE VILLA, BEING A SUBDIVISION OF THE NORTH 330 FEET OF THE EAST HALF OF LOT 2 OF THE NORTHEAST ONE QUARTER OF SECTION 5, TOWNSHIP 45 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THEREFROM THE WEST 700.8 FEET THEREOF AND EXCEPT THE EAST 342 FEET THEREOF), ACCORDING TO THE PLAT THEREOF, RECORDED JULY 6, 1956, AS DOCUMENT 914699 IN BOOK 1460 OF RECORDS, PAGE 163, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: AN EASEMENT FOR THE BENEFIT OF PARCEL 1 OVER THE NORTH 35 FEET OF LOT 1 IN SUBDIVISION AFORESAID, FOR THE PURPOSE OF INGRESS AND EGRESS AS RESERVED IN DEED FROM GEORGE KOVACHEVIC AND WIFE TO LOUIS BEHM, DATED JULY 10, 1956 AND RECORDED AUGUST 16, 1956, AS DOCUMENT 919699, IN LAKE COUNTY, ILLINOIS

P.I.N. 06-05-202-043

Copies of the Petition and related submittals are on file and available for inspection and/or copying at the office of the Village Clerk, 65 Cedar Avenue, Lake Villa, IL 60046 during the Village Clerk's normal business hours.

The Village of Lake Villa is subject to the requirements of the Americans with Disabilities Act of 1990. Individuals with disabilities who plan to attend this meeting and who require certain accommodations in order to allow them to observe and/or participate in this meeting, or who have questions regarding the accessibility of the meeting or the Village's facilities, are requested to contact the Village's ADA Coordinator at (847) 356-6100 promptly to allow the Village to make reasonable accommodations for those persons.

ALL INTERESTED PERSONS ARE INVITED TO ATTEND THE PUBLIC HEARING AND WILL BE GIVEN AN OPPORTUNITY TO BE HEARD, AND SUCH PERSONS, IF THEY SO REQUEST, WILL BE GIVEN THE OPPORTUNITY TO INQUIRE OF AND CROSS-EXAMINE WITNESSES FOR THE PETITIONER.

/s/ Michael Strong
Village Administrator, Village of Lake Villa

EXHIBIT A
PUBLIC HEARING NOTIFICATION LIST

#	PIN	Site Address	Site City St Zip	Taxpayer of Record	Taxpayer Address	Taxpayer City St Zip	Petitioner Comment
20	232400020	10 W GRAND AVE	LAKE VILLA IL 60046	NORLAND HOLDINGS LLC	PO BOX 349	LAKE VILLA IL 60046-0349	
26	232400021	0 W GRAND AVE	LAKE VILLA IL 60046	TIMM, THOMAS J & DIANE M	3814 BERRY ST	CRYSTAL LAKE IL 60012-1136	
77	232400028	182 W GRAND AVE	LAKE VILLA IL 60046	THE JOHNSTON FAMILY LIMITED PARTNERSHIP	262 W GRAND AVE	LAKE VILLA IL 60046-8661	
57	233305016	40 CEDAR AVE	LAKE VILLA IL 60046	NORLAND HOLDINGS LLC	PO BOX 349	LAKE VILLA IL 60046-0349	DUPLICATE CONTACT, ONE LETTER PROVIDED
61	233305017	40 CEDAR AVE	LAKE VILLA IL 60046	NORLAND HOLDINGS LLC	PO BOX 349	LAKE VILLA IL 60046-0349	DUPLICATE CONTACT, ONE LETTER PROVIDED
68	233305018	40 CEDAR AVE	LAKE VILLA IL 60046	TIMM, THOMAS J & DIANE M	3814 BERRY ST	CRYSTAL LAKE IL 60012-1136	DUPLICATE CONTACT, ONE LETTER PROVIDED
42	233305021	30 CEDAR AVE	LAKE VILLA IL 60046	TIMM, THOMAS J & DIANE M	3814 BERRY ST	CRYSTAL LAKE IL 60012-1136	DUPLICATE CONTACT, ONE LETTER PROVIDED
24	233305022	0 CEDAR AVE	LAKE VILLA IL 60046	NORLAND HOLDINGS LLC	PO BOX 349	LAKE VILLA IL 60046-0349	DUPLICATE CONTACT, ONE LETTER PROVIDED
75	233307013	31 CEDAR AVE	LAKE VILLA IL 60046	STEFFENHAGEN D & REV LIVING FAM TRUST	31 CEDAR AVE	LAKE VILLA IL 60046-8411	
21	604100001	9 W GRAND AVE	LAKE VILLA IL 60046	7/11 REDEVELOPMENT, LLC	PO BOX 349	LAKE VILLA IL 60046-0349	DUPLICATE CONTACT, ONE LETTER PROVIDED
55	604100063	0 W GRAND AVE	LAKE VILLA IL 60046	7/11 REDEVELOPMENT, LLC	P.O. BOX 349	LAKE VILLA IL 60046-8563	DUPLICATE CONTACT, ONE LETTER PROVIDED
78	604105009	110 MCKINLEY AVE	LAKE VILLA IL 60046	LAKE VILLA METHODIST CHURCH	110 MCKINLEY AVE	LAKE VILLA IL 60046-9003	DUPLICATE CONTACT, ONE LETTER PROVIDED
76	604105026	0 DELWOOD AVE	LAKE VILLA IL 60046	LAKE VILLA METHODIST CHURCH	110 MCKINLEY AVE	LAKE VILLA IL 60046-9003	
40	604105028	45 BURNETT AVE	LAKE VILLA IL 60046	D O'NEIL C KEHL, TRUSTEES	45 BURNETT AVE	LAKE VILLA IL 60046-8670	
67	604105029	0 BURNETT AVE	LAKE VILLA IL 60046	GARY P & MAUREEN R O'NEIL	42 LAURIE CT	LAKE VILLA IL 60046-9006	DUPLICATE CONTACT, ONE LETTER PROVIDED
23	604112001	46 BURNETT AVE	LAKE VILLA IL 60046	SHAILESHKUMAR H & HARSHA S DESAI	36360 N YEW TREE DR	LAKE VILLA IL 60046-7427	
49	604112004	48 A BURNETT DR	LAKE VILLA IL 60046	GREGORY M ISCH & CECELIA M MCCOPPIN	48 BURNETT AVE	LAKE VILLA IL 60046-9004	
43	604112006	0 SHERWOOD AVE	LAKE VILLA IL 60046	7/11 REDEVELOPMENT, LLC	P.O. BOX 349	LAKE VILLA IL 60046	DUPLICATE CONTACT, ONE LETTER PROVIDED
2	605200010	45 W GRAND AVE	LAKE VILLA IL 60046	SKOULLOS, IOANNIS V	45 W GRAND AVE	LAKE VILLA IL 60046-9144	
4	605200011	39 W GRAND AVE	LAKE VILLA IL 60046	THOMAS J. & DIANE M TIMM	PO BOX 313	CRYSTAL LAKE IL 60039-0313	
8	605200012	17 W GRAND AVE	LAKE VILLA IL 60046	7 11 REDEVELOPMENT LLC	PO BOX 349	LAKE VILLA IL 60046-0349	
12	605200013	11 W GRAND AVE	LAKE VILLA IL 60046	7 11 REDEVELOPMENT LLC	PO BOX 349	LAKE VILLA IL 60046-0349	DUPLICATE CONTACT, ONE LETTER PROVIDED
22	605200017	41 OAK KNOLL DR	LAKE VILLA IL 60046	LEIF & OLGA ANDERSON	41 OAK KNOLL DR	LAKE VILLA IL 60046-8996	
37	605200018	49 OAK KNOLL DR	LAKE VILLA IL 60046	OLSCHAN JOSHUA A	49 OAK KNOLL DR	LAKE VILLA IL 60046-8996	
32	605200019	0 OAK KNOLL DR	LAKE VILLA IL 60046	BARBARA J LOCKBAUM	101 OAK KNOLL DR	LAKE VILLA IL 60046-8997	
34	605201052	0 OAK KNOLL DR	LAKE VILLA IL 60046	DOKUCHAEVA, ANASTASIA	18 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
35	605201053	0 OAK KNOLL DR	LAKE VILLA IL 60046	DOKUCHAEVA, ANASTASIA	18 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
36	605201054	0 OAK KNOLL DR	LAKE VILLA IL 60046	DOKUCHAEVA, ANASTASIA	18 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
38	605201055	0 OAK KNOLL DR	LAKE VILLA IL 60046	DOKUCHAEVA, ANASTASIA	18 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
29	605201056	18 OAK KNOLL DR	LAKE VILLA IL 60046	DOKUCHAEVA, ANASTASIA	18 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
30	605201057	18 OAK KNOLL DR	LAKE VILLA IL 60046	DOKUCHAEVA, ANASTASIA	18 OAK KNOLL DR	LAKE VILLA IL 60046-9049	
31	605201058	20 OAK KNOLL DR	LAKE VILLA IL 60046	TARA K HEITMAN	20 OAK KNOLL DR	LAKE VILLA IL 60046-9049	
33	605201059	20 OAK KNOLL DR	LAKE VILLA IL 60046	TARA K HEITMAN	20 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
39	605201060	0 OAK KNOLL DR	LAKE VILLA IL 60046	PATRICK R SHERWIN	24 OAK KNOLL DR	LAKE VILLA IL 60046-9049	
50	605201061	0 OAK KNOLL DR	LAKE VILLA IL 60046	PATRICK R SHERWIN	24 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
44	605201062	24 OAK KNOLL DR	LAKE VILLA IL 60046	PATRICK R SHERWIN	24 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
45	605201063	30 OAK KNOLL DR	LAKE VILLA IL 60046	JASON JOHNS	30 OAK KNOLL DR	LAKE VILLA IL 60046-9049	
48	605201064	30 OAK KNOLL DR	LAKE VILLA IL 60046	JASON JOHNS	30 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
53	605201065	40 OAK KNOLL DR	LAKE VILLA IL 60046	JASON JOHNS	30 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
56	605201066	40 OAK KNOLL DR	LAKE VILLA IL 60046	JASON JOHNS	30 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
58	605201067	38 OAK KNOLL DR	LAKE VILLA IL 60046	ROBERT E FRANK & TVC, LLC	PO BOX 1111	LAKE VILLA IL 60046-1111	
60	605201068	40 OAK KNOLL DR	LAKE VILLA IL 60046	ROBERT E FRANK & TVC, LLC	PO BOX 1111	LAKE VILLA IL 60046-1111	DUPLICATE CONTACT, ONE LETTER PROVIDED
63	605201069	40 OAK KNOLL DR	LAKE VILLA IL 60046	ROBERT E FRANK & TVC, LLC	PO BOX 1111	LAKE VILLA IL 60046-1111	DUPLICATE CONTACT, ONE LETTER PROVIDED
66	605201070	0 OAK KNOLL DR	LAKE VILLA IL 60046	MARK PIETROWSKI	44 OAK KNOLL DR	LAKE VILLA IL 60046-9049	
69	605201071	44 OAK KNOLL DR	LAKE VILLA IL 60046	MARK PIETROWSKI	44 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
72	605201072	50 OAK KNOLL DR	LAKE VILLA IL 60046	ALAN E & JOYCE F FRAYER	50 OAK KNOLL DR	LAKE VILLA IL 60046-9049	
74	605201073	50 OAK KNOLL DR	LAKE VILLA IL 60046	ALAN E & JOYCE F FRAYER	50 OAK KNOLL DR	LAKE VILLA IL 60046-9049	DUPLICATE CONTACT, ONE LETTER PROVIDED
41	605201131	133 W GRAND AVE	LAKE VILLA IL 60046	COUNTY OF LAKE, TRUSTEE	18 N COUNTY ST	WAUKEGAN IL 60085-4364	
11	605202010	23 OAK KNOLL DR	LAKE VILLA IL 60046	PLAZA, SCOTTIE JAMES	23 OAK KNOLL DR	LAKE VILLA IL 60046-8996	
13	605202011	29 OAK KNOLL DR	LAKE VILLA IL 60046	DEBRA HEDLUND, TRUSTEE	26 OAK KNOLL DR	LAKE VILLA IL 60046-9049	
16	605202012	35 OAK KNOLL DR	LAKE VILLA IL 60046	WEBER, THOMAS & REBECCA	35 OAK KNOLL DR	LAKE VILLA IL 60046-8996	
59	605202013	101 OAK KNOLL DR	LAKE VILLA IL 60046	BARBARA J LOCKBAUM	101 OAK KNOLL DR	LAKE VILLA IL 60046-8997	DUPLICATE CONTACT, ONE LETTER PROVIDED
64	605202014	111 OAK KNOLL DR	LAKE VILLA IL 60046	NILLES, AMY	111 OAK KNOLL DR	LAKE VILLA IL 60046-8997	

EXHIBIT A
PUBLIC HEARING NOTIFICATION LIST

70	605202015	111 OAK KNOLL DR	LAKE VILLA IL 60046	NILLES, AMY	111 OAK KNOLL DR	LAKE VILLA IL 60046-8997	DUPLICATE CONTACT, ONE LETTER PROVIDED
73	605202016	111 OAK KNOLL DR	LAKE VILLA IL 60046	NILLES, AMY	111 OAK KNOLL DR	LAKE VILLA IL 60046-8997	DUPLICATE CONTACT, ONE LETTER PROVIDED
3	605202042	75 W GRAND AVE	LAKE VILLA IL 60046	RATAJCZYK, JAMES R	75 W GRAND AVE	LAKE VILLA IL 60046-5726	
1	605202043	65 W GRAND AVE	LAKE VILLA IL 60046	KARPATOS HOLDINGS LLC	45 W GRAND AVE	LAKE VILLA IL 60046-9144	
10	605202044	104 WALDEN LN	LAKE VILLA IL 60046	DAVID & RACHELLE MCNAMARA	PO BOX 1414	LAKE VILLA IL 60046-1414	
6	605202045	34 BURNETT AVE	LAKE VILLA IL 60046	STEMPER, JEFFREY D.	34 BURNETT AVE	LAKE VILLA IL 60046-9004	
5	605202046	36 BURNETT AVE	LAKE VILLA IL 60046	POPE, MICHAEL	36 BURNETT AVE	LAKE VILLA IL 60046-9004	
7	605202047	38 BURNETT AVE	LAKE VILLA IL 60046	COLIN NOBLE & TARA E SHEPPARD	38 BURNETT AVE	LAKE VILLA IL 60046-9004	
14	605202048	44 BURNETT AVE	LAKE VILLA IL 60046	WIEMERSLAGE, KARL	44 BURNETT AVE	LAKE VILLA IL 60046-9004	
18	605202049	106 WALDEN LN	LAKE VILLA IL 60046	ROSEMARY J WEISS	106 WALDEN LN	LAKE VILLA IL 60046-5004	
28	605202050	108 WALDEN LN	LAKE VILLA IL 60046	BENJAMIN R REYNOLDS RANDIE LYNN BULLOCK	108 WALDEN LN	LAKE VILLA IL 60046-5004	
51	605202051	110 WALDEN LN	LAKE VILLA IL 60046	BRIAN J & CYNTHIA D ABBINANTI	110 WALDEN LN	LAKE VILLA IL 60046-5004	
65	605202052	112 WALDEN LN	LAKE VILLA IL 60046	CHARLES & KATHRYN HARP	112 WALDEN LN	LAKE VILLA IL 60046-5004	
9	605202075	95 W GRAND AVE	LAKE VILLA IL 60046	STATE BANK OF THE LAKES c/o TRUST-NO-2005-112	440 LAKE ST	ANTIOCH IL 60002-1406	
15	605203001	107 WALDEN LN	LAKE VILLA IL 60046	JENNIE M SUTTON, TTEE U/T/D 01/14/2021	107 WALDEN LN	LAKE VILLA IL 60046-9057	
17	605203002	35 BURNETT AVE	LAKE VILLA IL 60046	J MISTA & L FIMBIANTI	35 BURNETT AVE	LAKE VILLA IL 60046-8670	
19	605203003	37 BURNETT AVE	LAKE VILLA IL 60046	LISA MCKAVIS	37 BURNETT AVE	LAKE VILLA IL 60046-8670	
25	605203004	39 BURNETT AVE	LAKE VILLA IL 60046	GALADYK, KRYSTIAN & MAGDALENA	39 BURNETT AVE	LAKE VILLA IL 60046-8670	
27	605203005	41 BURNETT AVE	LAKE VILLA IL 60046	DRAKE R & LINDA P DOMEL, TRUSTEES	41 BURNETT AVE	LAKE VILLA IL 60046-8670	
52	605203006	45 BURNETT AVE	LAKE VILLA IL 60046	GARY P & MAUREEN R O'NEIL	42 LAURIE CT	LAKE VILLA IL 60046-9006	
46	605203007	111 WALDEN LN	LAKE VILLA IL 60046	ARTURAS VINCKEVICIUS	111 WALDEN LN	LAKE VILLA IL 60046-9057	
47	605203008	36 LAURIE CT	LAKE VILLA IL 60046	DANIEL A & JOAN C VAN DER HAEGEN	36 LAURIE CT	LAKE VILLA IL 60046-9006	
54	605203009	38 LAURIE CT	LAKE VILLA IL 60046	STEVEN M DOWNS REV TRUST UAD 3/4/2020	38 LAURIE CT	LAKE VILLA IL 60046-9006	
62	605203010	40 LAURIE CT	LAKE VILLA IL 60046	LINDA J LINDAS, TTEE U/T/D 08/31/2021	40 LAURIE CT	LAKE VILLA IL 60046-9006	
71	605203011	42 LAURIE CT	LAKE VILLA IL 60046	GARY P & MAUREEN R O'NEIL	42 LAURIE CT	LAKE VILLA IL 60046-9006	DUPLICATE CONTACT, ONE LETTER PROVIDED

**EXHIBIT B – REQUIRED TAX MAPS FOR 65 W. GRAND AVENUE
CONDITIONAL USE PERMIT PUBLIC HEARING NOTIFICATION AREA**



NUMBERED PARCELS CORRESPOND WITH NOTIFICATION LIST EXHIBIT A



MEMORANDUM

TO: Michael Strong, Village Administrator
FROM: Scott Goldstein, FAICP, Principal
DATE: April 5, 2023
SUBJECT: 65 W. Grand CUP Planned Development Review

GENERAL INFORMATION

Applicant: Iannis Skoullou
Project Name: Serve and Swig
Location: 65 W. Grand Avenue
Action: Application for Conditional Use Permit for a Planned Unit Development

Project Summary

The Petitioner is requesting the Village's approval of a Conditional Use Permit (CUP) for a Planned Development for the redevelopment of property at 65 W. Grand Avenue that is currently zoned Commercial Business (CB). The request includes: (1) the improvement and/or expansion of the existing tavern utilizing the existing commercial structure on the Subject Property, (2) the expansion, establishment and maintenance of certain outdoor accessory recreational uses and activities, including a sand volleyball area, horseshoes, bean bag toss (also known as cornhole), and similar outdoor activities, (3) outdoor seating for both customers and spectators, and (4) the installation of a re-purposed shipping container with electric service and potable water connections for the purpose of the preparation and serving of food and beverages to customers, which structure would be used as much as twelve (12) months each year, (5) certain requested variations from provisions of the Zoning Ordinance to permit the installation of a fence having a height of up to twelve feet (12') along the rear property line (there is now a fence which is six (6) feet in height at this location) along with a setback variation to allow for a temporary food trailer to park intermittently in the side yard setback, which trailer shall be located at least one (1) foot from the side lot line.

Teska reviewed the Petitioner's application signed March 4, 2024 and a proposed site plan dated March 26, 2024.

Zoning: The site is currently zoned Commercial Business (CB). The Petitioner is requesting a Conditional Use Permit (CUP) and Planned Development to allow for relief to CB zoning, as specified below. A CUP is also required for a structure in a floodplain.

Use: The property is currently a restaurant and tavern, which are permitted in CB. The Petitioner is requesting a Recreational Accessory Use to allow for outdoor dining area and recreational uses. The petitioner is also requesting a Temporary Stand and Accessory Structure.

The proposed project is requesting the following zoning relief through a Conditional Use Permit and Planned Development.

- 1) Allowing a Temporary Stand for up to 11 months, rather than up to six months allowed in the ordinance, and to be located within four feet of the subject property. The Plan Commission shall recommend whether the relief is permanent or granted as temporary relief on an annual basis by the Village.
- 1) Conditional Use Permit to allow for Recreational Accessory Use
- 2) Conditional Use Permit to allow structure in a floodplain.
- 3) Side yard of eleven (11) feet, versus twelve (12) feet required in CB (which would continue the existing condition)
- 4) Allowing a twelve (12) foot fence versus eight (8) foot fence allowed in the code.
- 5) Restrictions to the hours of operation and sound level at the boundary of the property.

Temporary Stand

The Temporary Stand would be a trailer to be parked in the side yard setback. The Temporary Stand would require the following conditions: (10-4-5.2) and is requesting relief to allow for up to eleven (11) months in any calendar year and to be located within four (4) feet of the building. The Conditional Use Permit should include the following provisions required for a temporary use permit. ***The Village will need to determine whether the CUP would provide permanent relief or whether the Petitioner should submit for an annual temporary use permit.***

In any commercial or industrial zone, a temporary use permit may be issued for temporary sales stands for hot dogs and other foods, novelty items and other products. (10-4-5.2)

- a. Approval from the Lake County health department must be obtained if food is being sold.
- b. A permit shall be valid for no longer than ten (10) days. Exception to this is if the primary use is the sale of hot dogs or other food items. Then a permit shall be valid for no longer than six (6) months in any calendar year.

Petitioner is requesting relief to allow operation for eleven (11) months in a calendar year

- c. The temporary sale stand shall be located at least four feet (4') from any buildings on the property.

Petitioner is requesting the temporary use immediately adjacent to the building within the setback

- d. Adequate off-street parking shall be provided for the temporary use in addition to required parking for any other uses existing on the property.

Temporary use would not impact parking

- e. Written permission from the owner of the property on which the sales are to be conducted must accompany the application.

Petitioner owns and would operate the establishment.

- f. Hours of operation shall be specified in the temporary use permit.

The Village may impose hours of operation restriction on the use.

The Petitioner is also requesting the use of a renovated shipping container as an Accessory Structure. The Accessory structure must meet the following standards:

1. It shall be customarily incidental to the principal use established on the same lot and shall serve no other principal use or purpose.
2. It shall be subordinate in area, floor area, intensity, extent and purpose to the principal use.
3. It shall contribute to the comfort, convenience or necessity of users of the principal use.
4. An accessory structure, which is not attached to nor part of a principal structure, may be located within the required side or rear yard setback, but not the front yard setback, provided that it is located at least five feet (5') from the lot line and further provided that the structure shall not be located in any area burdened by a recorded easement, such as, but not limited to, a utility easement.
5. No accessory structure or use shall be permitted without a principal structure or use. Any question of whether a particular use is permitted as an accessory use by the provisions of this section shall be determined by the Zoning Officer pursuant to that officer's authority to interpret the provisions of this title. All accessory uses shall conform to the requirements of section 10-3B-2, table 1 of this title. (Ord. 2004-01-01, 1-14-2004)

- 6) Restrictions to the permitted noise level.

The Zoning Ordinance does not specifically regulate noise from a commercial use abutting residential use. However, permitted noise levels in a LI and LI-2 zone (10-4-1-3) abutting a CB or residential zone can not exceed the maximum permitted sound pressure in Decibels Series A at the boundary of the property.

TABLE 4
MAXIMUM PERMITTED SOUND PRESSURE LEVELS AT ZONE BOUNDARIES IN DECIBELS

Abutting Zone At Point Of Measurement	Zone LI, LI-2 Series
LI, LI-2, CB, CR, SB, RD, AG, SR, UR1, UR2, UR3, UR3A, UR4, NC	A

(Ord. 2004-01-01, 1-14-2004; amd. Ord. 2014-07-01, 7-9-2014)

Conditional Use Permit

A Conditional Use Permit (CUP) is required as this is a Recreational Accessory Use that includes cocktail lounge and dining area and outdoor game courts. The location, size, and intensity of these accessory uses shall be restricted and determined in relation to the effects of such uses upon the environment, including effect upon traffic. The restrictions shall be incorporated in the required conditional use permit. (Standards for Certain Conditional Uses 10-4-4)

All Conditional Uses must meet the following standards which may include as a condition of approval various improvements and restrictions to ensure compatibility with existing and anticipated uses as well as the trend of development in proximity to the proposed conditional use:

- a. Suitable landscaping and/or buffer yard.

The petitioner shall demonstrate improved landscaping and stormwater management as part of the improved property plan.

- b. Restrictions of the use of setback areas, including the prohibition or regulation of parking or storage within the setback areas.

The petitioner has requested a temporary stand within the side yard setback on the western edge of the property. The temporary stand will be a movable trailer. The petitioner has also requested 11 months of use per year as relief to the requirement of up to six months per year. The petitioner will need to maintain the trailer as a well-maintained operable vehicle.

- c. Restrictions on signage.

The petitioner would not receive any relief in signage requirements.

- d. Specific parking requirements at specific locations on the site.

No additional parking requirements are recommended.

- e. An approved lighting plan with illumination standards.

The petitioner will present a lighting plan that meets Village standards.

- f. Limitations of the hours of operation.

Hours of operation will be limited to the following times: (Plan Commission to recommend requirements)

- g. Limitations on or standards for the external facade of any buildings or other structures.

The external facades of all buildings will meet Village code.

- h. The minimum acreage necessary to reasonably accommodate the proposed conditional use.

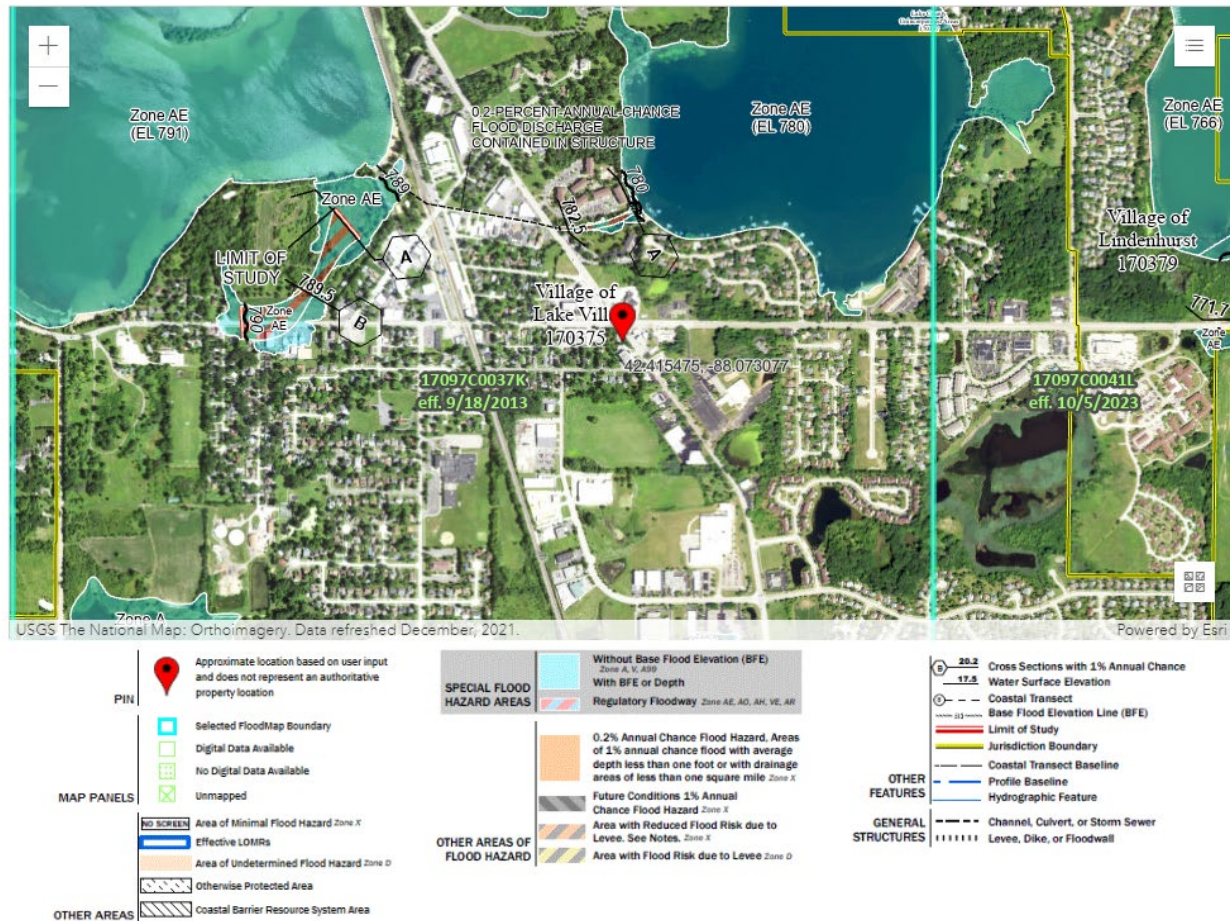
No additional acreage is necessary for the proposed use.

- i. Such conditions as are necessary to ensure that the use does not generate noise or air pollution, or otherwise constitute a nuisance to other uses in proximity to the proposed conditional use.

Noise will not exceed permitted noise levels (add requirements)

- j. Such other terms and conditions as determined by the village board, which are useful and expedient in permitting the conditional use but at the same time preserving the zoning integrity of the proximate area and ensuring compatibility of the proposed conditional use with existing and anticipated uses in proximity to the proposed conditional use.

Conditional Use Structures in a Flood Plain



A portion of the subject property is in a flood plain as shown below, highlighted in yellow boundary.



Source: FEMA Flood Map Service Area dated 9/18/2013

Conditional Use Structures in a Flood Plain (10-4-4.27)

Floodplain Uses: Any structure or use, including the placement of fill material, permitted by the underlying zoning district, may be established in a floodplain pursuant to the issuance of a conditional use permit. Any such use, structure or filling shall comply with the following standards:

a. Filling:

The Petitioner shall confirm that there will be no filling of the floodplain. If there is filling, the project must comply with the restrictions outlined in 10-4-4.27.

b. Structures:

(1) All structures and their access shall be raised so that no floor, or its horizontal structural supports or any horizontal internal utility line has less than two feet (2') of clearance between its lowest point and the base flood elevation. Vehicular access to such structures shall comply with the same standards in order to ensure emergency or fire access during periods of high water. Any reduction of cross sectional area due to vertical supporting members shall be offset by compensatory storage. Following construction, a registered professional engineer shall prepare and submit to the zoning officer a certification of the "as built" elevation of the lowest floor of any such structure. The zoning officer shall maintain a record of this certification.

(2) Any structure placed in the floodplain shall be anchored firmly to prevent floodwaters from carrying it downstream. Such anchoring shall be sufficient to withstand a flood velocity of six feet (6') per second. The zoning officer shall require the applicant to submit the written opinion of a registered professional engineer that the proposed structural design meets this standard.

(3) Any construction permitted pursuant to this section located wholly or partially within any floodplain shall, to the maximum extent practical below an elevation of two feet (2') above the base flood elevation, utilize flood resistant materials and utility equipment.

Planned Development Guidelines (10-9-1.5)

- A. The planned development shall be consistent with the intent and purpose of these zoning regulations.

The proposed project is largely consistent with Commercial Business Zoning. A Conditional Use Permit will be required to allow for Recreational Accessory Use. The petitioner is also requesting Zoning relief for an, 11 foot side yard (rather than 12 foot required setback). The Petitioner is also requesting a 12 foot fence (rather than 8 foot fence) to provide buffering to a residential property to the south which would exceed local zoning. An eight or ten foot high fence may be sufficient to provide visual buffering.

- B. The planned development shall be generally compatible with the character of the underlying zoning district and neighborhood in which it is located.

The proposed project is located on an arterial street with a commercial character.

- C. The planned development should be consistent with the village's official comprehensive plan.

The proposed project is consistent with the Village's 2022 Comprehensive Plan which shows the property as Mixed Use.

- D. The planned development should preserve the value of the surrounding residential area and must be compatible with surrounding land uses.

The proposed project is compatible with the mixed-use character of neighboring properties.

- E. Significant physical, topographical, environmentally sensitive or historical features of the site of the planned development, which are of importance to the community, should be preserved.

The project is located in flood plain which is regulated by the Lake County Watershed Development Ordinance.

- F. The entire property proposed for planned development treatment shall be in single ownership or under such unified control, or the petition shall include a unit of local government as a petitioner or as a co-petitioner, so as to ensure that the entire property will ultimately be developed as a unified whole.

The project is being proposed by a single owner.

Recommendation by Plan Commission (10-9-1.7)

The proposed project is requesting the following zoning relief through a Conditional Use Permit and Planned Development.

- 2) Allowing a Temporary Stand for up to 11 months, rather than up to six months allowed in the ordinance, and to be located within four feet of the subject property. The Plan Commission shall recommend whether the relief is permanent or granted as temporary relief on an annual basis by the Village.
- 3) Conditional Use Permit to allow for Recreational Accessory Use
- 4) Conditional Use Permit to allow structure in a floodplain.
- 5) Side yard of eleven (11) feet, versus twelve (12) feet required in CB (which would continue the existing condition)
- 6) Allowing a twelve (12) foot fence versus eight (8) foot fence allowed in the code.
- 7) Restrictions to the hours of operation and sound level at the boundary of the property.

The Plan Commission shall develop findings and recommendations as to whether the preliminary plan or plat should be approved, approved subject to modifications, or not approved. In addition to the standards for conditional uses, such review shall consider:

- 1) In what respects the proposed plan or plat is, or is not, consistent with the stated purpose of the planned development regulations set forth in this chapter and the extent to which the proposed plan or plat meets the requirements and standards of the planned development regulations.

The proposed project is consistent with the Comprehensive Plan Future Land Use Map, and is generally consistent with the Village's planned development regulations.

- 2) The general extent to which the proposed plan or plat departs from these zoning regulations and/or from title 11, "Subdivision Regulations", of this code otherwise applicable to the subject property and the relation of any proposed exceptions to the public interest.

The Plan Commission shall determine whether the zoning and use relief requested is consistent with the code and exceptions are in the public interest.

- 3) The general extent to which the proposed plan or plat produces, or does not produce, a public benefit, in terms of the planned development meeting the planning objectives and standards of the village.

Public benefits may include: active use of the property for commercial and recreational purposes, enhancement of tax base of the Village, stormwater benefits to the property if they are demonstrated, and/or exceeding landscape requirement if they are demonstrated.

- 4) The physical design of the proposed plan or plat and the manner in which its design does, or does not, make adequate provision for public services, provide adequate control over vehicular traffic, provide for and protect designated common open space, and further the amenities of light and air, recreation and visual enjoyment.

The Plan Commission shall determine whether the proposed changes to the property adequately address public services, control of vehicular traffic, protect common open space and any impacts of noise, light, air, recreation and visual enjoyment benefit the public interest.

- 5) The relationship and compatibility, beneficial or adverse, of the proposed plan to the adjacent properties and to the neighborhood, and the desirability of the proposed plan to the village's physical development, tax base and economic well-being.

The Plan Commission shall determine the relationship and compatibility of the proposed plan based on the criteria above.

I, Iannis V Skoullos "Jon", consent to the concept of the improvements at 65 W Grand Ave, Lake Villa, IL 60046 as written below and provided to the Village of Lake Villa.

Serve & Swig will strive to be the destination for family and friends alike. The place that feels like home because of the memories made there. Whether it's enjoying a meal or sharing a drink, but really it's a chance for a place to be more than just that. We have created a menu unlike most, will be loved by everyone and fits our concept. This begins with a beautiful remodeling of the inside of the building.

Activities help bring people together and it is our hope that we will be able to do that in a variety of ways. Whether it be through volleyball, cornhole, tic-tak-toe, janga, darts, pool, trivia, bingo, gaming. We would eventually add a sport court for curling, pickle ball, dodge ball, shuffleboard, and basketball. We want everyone to make their own experience. Providing an outdoor area that is part of the activities, yet relaxing for couples, friends, and families will allow everyone to enjoy their time together.

In our grand scope, we would be open from 6am-1am (weekdays) and 2am (weekends). During that time frame, we would be open for breakfast, lunch, and dinner. Outdoor activity (volleyball) lights will be off at 10pm and all outdoor (sport) activities will cease at 9:45pm. An outdoor patio will be available for customers to continue to relax and enjoy the outdoors without music.

Our main objective is to add value to the community and be a part of it. We believe in doing that through family and friends in a safe and welcoming environment that is also respectful to our neighbors. This will no longer be the place it once was, it will be better. Serve & Swig will be an addition that adds value and pride to the Village of Lake Villa.

Signed,

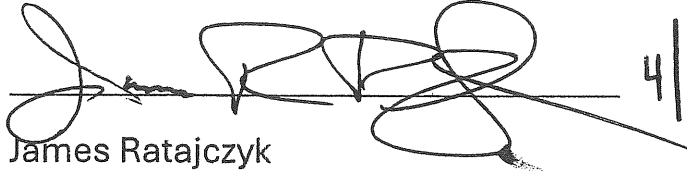


Iannis V Skoullos "Jon"

Dated

3-4-24

I, James Ratajczyk, owner of Lakeland Auto Body, Inc. (75 W. Grand Ave. Lake Villa, IL 60046) give permission for the food trailer at 65 W. Grand Ave. Lake Villa, IL 60046 to be parked within a foot of the property line, as requested.

 4/10/24
James Ratajczyk

Owner

Lakeland Auto Body, Inc.

75 W. Grand Ave.

Lake Villa, IL 60046

VILLAGE OF LAKE VILLA PLAN COMMISSION
MEETING OF APRIL 18, 2024
RE: PETITION OF DON DEBELLO ON BEHALF OF CAMTA GROUP, INC.
AND KARPATOS HOLDINGS, LLC
PRELIMINARY AND FINAL OF AN AMENDED SPECIAL USE PERMIT
FOR A BUSINESS PLANNED DEVELOPMENT

Motion by Plan Commission Member _____, seconded by Plan Commission Member _____ that the Lake Villa Plan Commission recommend to the Mayor and Board of Trustees of the Village of Lake Villa the preliminary and final approval of an Amended Conditional Use Permit for the rehabilitation of and the establishment, operation, and maintenance in good condition of expanded recreational uses on the Property commonly known as 65 W. Grand Avenue (P.I.N. 06-05-202-043):

I. FINDINGS OF FACT:

1. The Property is approximately 39,970 square feet in area (.91 acres), is located on the South side of Grand Avenue (Route 132) west of Cedar and Sherman Avenues, and east of Oak Knoll Drive, within the Village of Lake Villa (the "Village") CB (Community Business) Zoning District, and is legally described as follows:

PARCEL 1: LOT 2 IN ROX'S ADDITION TO LAKE VILLA, BEING A SUBDIVISION OF THE NORTH 330 FEET OF THE EAST HALF OF LOT 2 OF THE NORTHEAST ONE QUARTER OF SECTION 5, TOWNSHIP 45 NORTH, RANGE 10, EAST OF THE THIRD PRINCIPAL MERIDIAN (EXCEPT THEREFROM THE WEST 700.8 FEET THEREOF AND EXCEPT THE EAST 342 FEET THEREOF), ACCORDING TO THE PLAT THEREOF, RECORDED JULY 6, 1956, AS DOCUMENT 914699 IN BOOK 1460 OF RECORDS, PAGE 163, IN LAKE COUNTY, ILLINOIS.

PARCEL 2: AN EASEMENT FOR THE BENEFIT OF PARCEL 1 OVER THE NORTH 35 FEET OF LOT 1 IN SUBDIVISION AFORESAID, FOR THE PURPOSE OF INGRESS AND EGRESS AS RESERVED IN DEED FROM GEORGE KOVACHEVIC AND WIFE TO LOUIS BEHM, DATED JULY 10, 1956 AND RECORDED AUGUST 16, 1956, AS DOCUMENT 919699, IN LAKE COUNTY, ILLINOIS.

2. The Petitioners for the Amended Conditional Use Permit are the lessee and contract purchaser of the Property, Camta Group, Inc., and the present owner of the Property, Karpathos Holdings, LLC, which has joined in and approved said Petition (collectively, the "Petitioners").
3. The Property is presently zoned and classified as part of the Village's CB (Community Business) Zoning District and is subject to an existing Conditional Use Permit granted in 1992 for a tavern and related improvements pursuant to Village of Lake Villa Ordinance No. 92-6-5. The Petitioners are not requesting rezoning of the Subject Property.

4. The Petitioners are requesting the Village's preliminary and final approval of an Amended Conditional Use Permit to allow the redevelopment of the Subject Property and the expansion of the uses permitted thereon, which would include: (1) the improvement and/or expansion of the existing tavern utilizing the existing commercial structure on the Subject Property, (2) the expansion, establishment and maintenance of certain outdoor accessory recreational uses and activities, including a sand volleyball area, horseshoes, bean bag toss (also known as cornhole), and similar outdoor activities, (3) outdoor seating for both customers and spectators, (4) the installation of a re-purposed shipping container with electric service and potable water connections for the purpose of the preparation and serving of food and beverages to customers, which structure would be used as much as twelve (12) months each year, and (5) the approval of variations from certain provisions of the Village's Zoning Ordinance to permit the Petitioners to install a fence having a height of up to twelve feet (12') along the rear property line of the Subject Property (there is now a fence which is six (6) feet in height at this location) as well as approval of a variation from the side yard setback provisions of the Village's Zoning Regulations to allow a temporary food trailer to be parked intermittently in the West side yard setback of the Subject Property, which trailer shall in no event be located not less than one (1) foot from the West side lot line of the Subject Property (collectively, the "Amended Conditional Use Permit" or the "Amended Conditional Use")
5. The Amended Conditional Use requested by the Petitioners for the rehabilitation of and proposed improvements for the Subject Property:
 - (a) is consistent with the particular physical surroundings of the Subject Property, the mixed uses on properties in the general vicinity thereof, and the present zoning of the Subject Property, and that the granting of certain relief from the Village's Zoning Regulations, if any, will not be detrimental to the public welfare or injurious to other property owners in the vicinity of the Subject Property;
 - (b) is consistent with the general purpose and intent of the Lake Villa Zoning Regulations;
 - (c) is consistent with the Village's Comprehensive Plan;
 - (d) is designed, constructed, and will be operated and maintained in good condition so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity;
 - (e) will not significantly diminish the safety, use and enjoyment of surrounding property;
 - (f) will be adequately served by essential public facilities and services such as streets, police and fire service, drainage, refuse disposal, and schools, or

such services will be provided by the Petitioners at the Petitioners' sole expense;

- (g) does not create excessive additional requirements at public expense for public facilities and service and will not be detrimental to the economic welfare of the community;
- (h) does not involve uses, activities, processes, materials, equipment and conditions of operation that will be detrimental to any persons, property, or the general welfare by reason of excessive production of traffic, noise, smoke, fumes, glare or odors;
- (i) will provide vehicular access to the Subject Property designed so that such use does not create any interference with traffic on surrounding public thoroughfares;
- (j) will not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance;
- (k) will comply with all additional regulations in this Ordinance specific to the Conditional Use Permit requested;
- (l) will be consistent with the existing zoning of and with the existing uses of nearby properties;
- (m) will not diminish property values by any zoning restrictions which may otherwise be applicable or by granting of the proposed Conditional Use;
- (n) will not diminish property values and will promote the general health, safety, and welfare;
- (o) will provide a gain to the public as a result of the establishment of additional recreational uses within the Village in the form of a redevelopment tavern and expanded outdoor uses, and there will be no hardship imposed upon the Petitioners;
- (p) will satisfy a community need for the uses which are the subject of the Amended Conditional Use Permit requested by the Petitioners;
- (q) will be consistent with the intent and purpose of the Lake Villa Zoning Regulations;
- (r) will be generally compatible with the character of the Community Business (CB) Zoning District and the neighborhood in which it will be located;
- (s) will preserve the value of the surrounding residential area and will be compatible with surrounding land uses;

- (t) The Subject Property is suitable for the establishment of the proposed Amended Conditional Use Permit;
 - (u) The Village has undertaken its planning and land use regulations with great care;
 - (v) The Subject Property contains no topographical, environmentally sensitive, or historical features which require preservation;
6. The proposed Amended Conditional Use Permit would amend the existing Conditional Use previously approved in 1992 by Ordinance No. 92-6-4 to authorize the continued operation and maintenance of a planned development in the nature of a tavern with expanded recreational facilities pursuant to the Village's Zoning Regulations in the CB Zoning District in which the Subject Property is located, and the proposed Amended Conditional Use Permit is compatible with other uses permitted in the CB Zoning District;
 7. The proposed Amended Conditional Use Permit is consistent with the stated purpose of the Planned Development regulations set forth in the Village's Zoning Regulations and the proposed preliminary and final plans for said Amended Conditional Use Permit meet the requirements and standards for planned developments.
 8. The preliminary and final plans for the Amended Conditional Use Permit indicate that it will produce a public benefit meeting the planning objectives and standards of the Village.
 9. The preliminary and final plans submitted to the Village by the Petitioners reflect a design which provides for adequate public services and adequate control over vehicular traffic.
 10. The proposed Amended Conditional Use Permit will be compatible with and beneficial to the adjacent properties and to the neighborhood and is a desirable addition to the Village's recreational options.
 11. In reviewing requests for Conditional Uses and amendments thereto, the following standards were reviewed and considered pursuant to the Village's Zoning Code:
 - (a) Location: The site shall be so situated that the proposed use is compatible with the existing and planned future development in the area.

The Plan Commission finds that the proposed Amended Conditional Use is located along an arterial compatible with various recreational amenities of this type.

 - (b) Zoning District Requirements: All regulations of the zone in which a conditional use is located shall apply to such uses, except where

specifically amended by the conditions under which the Amended Conditional Use Permit will be granted.

- (c) Lot Area: A conditional use shall be located on a lot or a zoning lot which conforms to the applicable zone regulations.

The Plan Commission finds that the proposed Amended Conditional Use is in compliance with minimum requirements of the Community Business (CB) Zoning District.

12. In evaluating the proposed Amended Conditional Use, the Plan Commission considered the degree to which the proposed redevelopment of the Subject Property varies from underlying zoning standards of the district in which it is located, considered the benefits of the Planned Development, and found that various expanded recreational uses proposed by the Petitioners will exceed the minimum requirements otherwise provided by the Village's Zoning Regulations
13. The Plan Commission also considered the degree to which the Petitioners exhibited extra care and attention to details in excess of Village requirements which enhance the character of the proposed redevelopment of the Subject Property.
14. The Plan Commission found that the proposed Amended Conditional Use will provide additional recreational amenities which will attract additional customers to the business.
15. The proposed Amended Conditional Use is located along an easily accessible arterial.

II. CONDITIONS OF PRELIMINARY AND FINAL APPROVAL: The Plan Commission of the Village recommended that the Petitioners be granted preliminary and final approval of the requested Amended Conditional Use subject to the following conditions:

- (A) 1. The Amended Conditional Use Permit shall be issued to the Petitioners herein until such time as the Petitioner Camta Group, Inc. becomes the owner of the Subject Property, at which time the Amended Conditional Use Permit shall thereafter be specific only to the Camta Group, Inc. and the Petitioner, Karpathos Holdings, LLC shall have no further rights and/or obligations relative thereto.
2. Upon the Petitioner Camta Group, Inc. acquiring title to the Subject Property, Petitioner Camta Group, Inc. shall be required to provide to the Village in a timely manner a copy of the recorded deed transferring ownership of the Subject Property from Karpathos Holdings, LLC.
 3. The subject Amended Conditional Use Permit shall not thereafter be transferred to any other person or entity without the prior written consent of the Village Board.

- (B) Prior to the issuance of any temporary or final Certificate of Occupancy for the Amended Conditional Use, the Petitioners shall provide to the Village “as built” final plans showing the precise location of all improvements to the Subject Property, including all structures and on-site improvements and parking.
- (C) Any signage to be installed on the Subject Property as part of the Amended Conditional Use herein granted shall be in compliance with the sign regulations of the Village.
- (D) No Authorization for Development Activity: The approvals granted by Ordinance of the Village are not and shall not be interpreted in any manner as an authorization for Petitioners and/or their respective assigns, employee(s), contractor(s), and/or agent(s) to commence any development activity on the Subject Property until the required building and other permits are obtained from the Village.
- (E) The Amended Conditional Use Permit shall be issued to and be specific to only the Petitioners, Camta Group, Inc. and Karpathos Holdings, LLC, until such time that the Camta Group, Inc. becomes the owner of the Property, at which time the Amended Conditional Use Permit shall thereafter be specific only to Petitioner Camta Group, Inc., and not Karpathos Holdings, LLC, and shall not thereafter be transferable to any other person or entity without the prior written consent of the Village Board.
- (F) The Amended Conditional Use Permit and variations to be granted shall comply with all applicable health and sanitation regulations of the Illinois Department of Public Health, the Lake County Board of Health, and of all of the applicable state and federal agencies, as well as all applicable provisions of the Lake Villa Village Code, as amended from time to time.
- (G) In the event that, now or in the future, the operations authorized by the Amended Conditional Use Permit have been determined by the Board of Trustees of the Village to have caused or contributed to any substantial adverse impact on residents or occupants and/or properties in the vicinity:
 - 1. If so directed in writing by the Board of Trustees of the Village or the Village Administrator, as their designee, the Petitioners shall promptly cause those portions of the Subject Property contributing to such adverse impact now or in the future to be modified to the degree that the Amended Conditional Use Permit no longer creates a nuisance to other residents and/or properties in the vicinity of the Subject Property as determined by the Board of Trustees of the Village or by the Village Administrator, as their designee; and/or
 - 2. If so directed in writing by the Board of Trustees of the Village or the Village Administrator, as their designee, the Petitioners shall promptly cause

smoke, fumes and/or odor mitigation measure(s) to be implemented on the Subject Property to mitigate any such violation(s) on the Subject Property. Prior to installation and/or implementation of any such mitigation measure(s), plans for such mitigation measures shall be submitted to the Village and approved in advance in writing by the Board of Trustees of the Village, or by the Village Administrator as their designee.

3. If so directed in writing by the Board of Trustees or the Village Administrator, as their designee, the Petitioners shall take other reasonable steps to mitigate all adverse impacts created by the operation of the Amended Conditional Use Permit.
- (H) The Village shall reserve the right to suspend and/or revoke the Amended Conditional Use Permit and/or impose additional restrictions, regulations and/or conditions of operations of the Amended Conditional Use Permit herein authorized if any violation(s) arise relative to odor, smoke, fumes, or other violations arise at any time. Any violations of the Village's Zoning Regulations or the Village Code, or of the express conditions and restrictions of this Ordinance and/or of Village of Lake Villa Ordinance No. 92-6-5 shall require a hearing before the Village Board where the Petitioners will be given an opportunity to be heard on such issues, and the Petitioners shall be required to present at such hearing proposed modifications to be made to its operation, which modifications shall require the written approval of the Village Board prior to implementation thereof, to remedy any and all violations of the Amended Conditional Use Permit or of any other applicable Village ordinances to prevent such violations in the future. If either of the Petitioners fails to adequately provide such modifications or otherwise fails to remedy all such violations as determined by the Village Board, the Village Board may order the Amended Conditional Use herein authorized to cease operations by a date certain. Such date certain shall be not less than 30 days and not more than 60 days from the hearing date before the Village Board.
- (I) Prior to commencement of the operations of the Amended Conditional Use on the Subject Property, and at least once annually, the Petitioners and/or their respective successor(s) and/or assign(s) shall provide to the Village copies of all current required certifications, permits, licenses, approvals, and/or "no permit required" letters which shall each be current and valid establishing that the Petitioners are licensed and/or permitted to operate the business and restaurant use and related equipment at such location. Such certifications, permits, license(s) and approval(s) shall include, but shall not be limited to: the Illinois Department of Public Health, the Lake County Board of Health, Lake Villa Building Inspector, and Lake Villa Zoning Officer.
- (J) The Amended Conditional Use Permit shall be subject to, and the Petitioners shall be required to comply with, all regulations of the Village's CB Zoning District in which the Subject Property is located, all applicable provisions of the Village's Zoning Ordinance and Lake Villa Village Code, as well as all applicable

ordinances and regulations of the State of Illinois, the Illinois Department of Public Health, and the Lake County Board of Health.

(K) The following exceptions from the provisions of the Village's Zoning Regulations should be granted for the requested Amended Conditional Use Permit:

1. An exception from the provisions of the Village's Zoning Regulations relative to the maximum permitted height of a fence in the CB Zoning District should be granted to the Petitioners to allow the Petitioners to construct and maintain in good condition a fence having a height of up to twelve feet (12') along the rear property line of the Subject Property. There is currently a fence at this location which is only six feet (6') in height.
2. An exception to permit the possible installation of a re-purposed shipping container with electric service and potable water connections for the purpose of the preparation and serving of food and beverages to customers, which structure would be used as much as twelve (12) months each year.
3. An exception from the side yard setback otherwise required by the Village's Zoning Regulations should be granted to the Petitioners to allow the Petitioners to have a temporary food trailer on the Subject Property which shall be parked intermittently in the West side yard setback of the Subject Property, which trailer shall in no event be located not less than one (1) foot from the West side lot line of the Subject Property.